

Chick-fil-A Fort Gratiot

Site Plan Approval



Introduction to Chick-fil-A

Chick-fil-A® is in the business of serving our guests great food and remarkable service.



- Family-owned and privately-held.
- Devoted to serving the local communities in which we operate, while offering great-tasting food made with high-quality ingredients — including the Original Chick-fil-A® Chicken Sandwich.
- Closed on Sundays, a tradition honored as a day of rest by the founder, S. Truett Cathy.
- Partner with local nonprofits to improve the lives of people in our communities who need help most.
- Chick-fil-A restaurants located in more than 3,000 locations in 48 states, Washington D.C. Canada and Puerto Rico.



Local Ownership / Team Member Experience



“We’re not in the chicken business, we’re in the people business.”



- Our business model is built on local owners who come from a variety of backgrounds and work experiences. Most Chick-fil-A franchise owners have only one restaurant, and they live in the community where their restaurant is located.
- Working at Chick-fil-A restaurant means flexible work hours and leadership growth opportunities, competitive wages and benefits, hands-on training and mentoring and the chance to apply for scholarships to support their continuing education
- Since 1973, Chick-fil-A, Inc. has awarded more than \$162 million in scholarships to more than 93,000 Team Members.



Giving Back



- **Food Donation** - Each time a franchised Chick-fil-A restaurant opens, Chick-fil-A, Inc. donates \$25,000 to a LOCAL food bank. In addition, through its Shared Table program, participating Chick-fil-A restaurants donate their surplus food to local shelters, soup kitchens and charities. In just the last few years, our Operators have donated approximately ten million meals.
- **Community and People** - Through the True Inspiration Awards program, Chick-fil-A, Inc. awards grants to local nonprofit organization working in the areas of education, hunger & environmental stewardship. Many winning organizations are nominated by a local Chick-fil-A restaurant Operator. Since the program began in 2015, \$12 million has been awarded to 171 community organizations!



Site



Existing Site

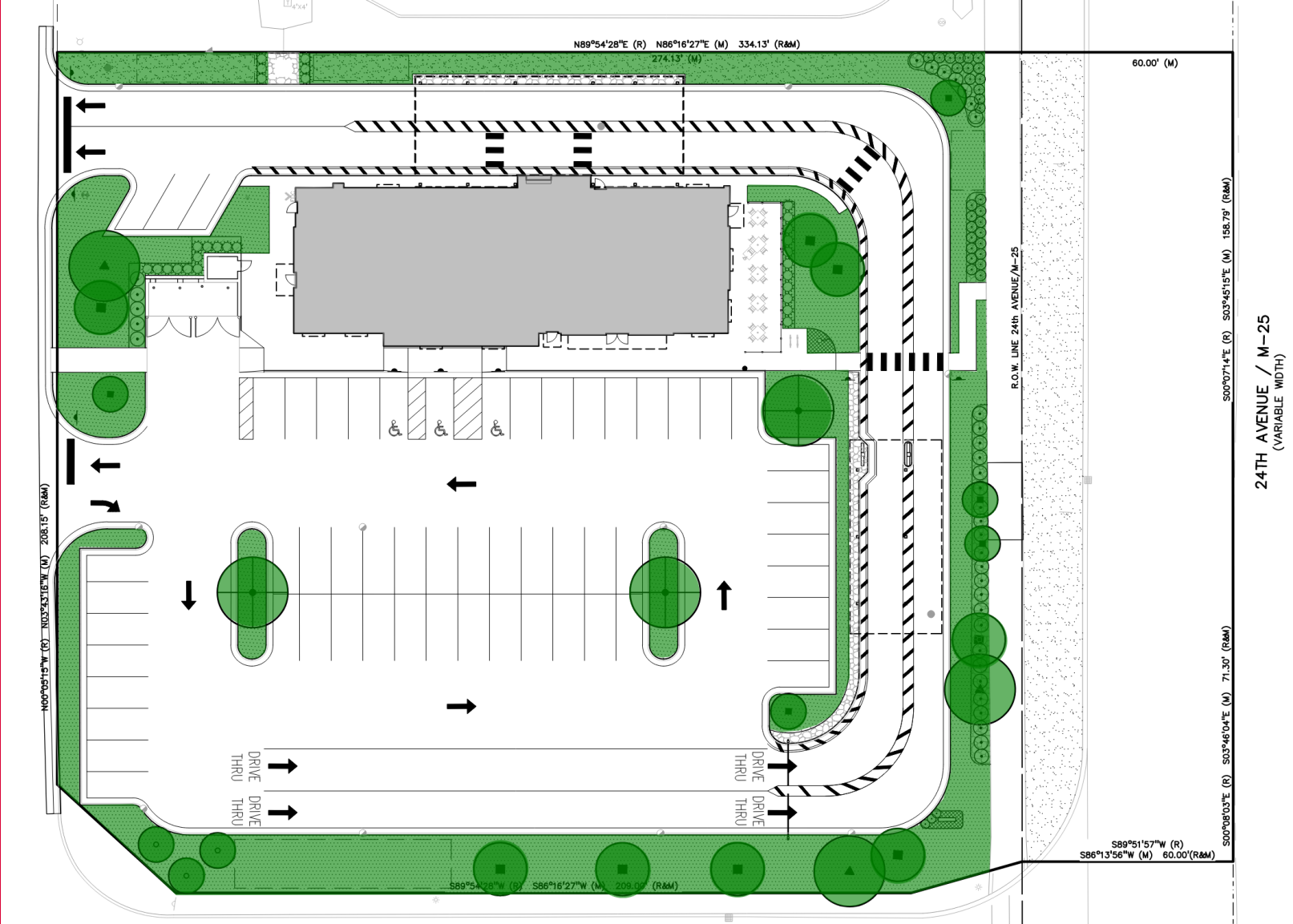


Proposed Chick-fil-A

(Four-sided full brick façade with dark bronze accents)

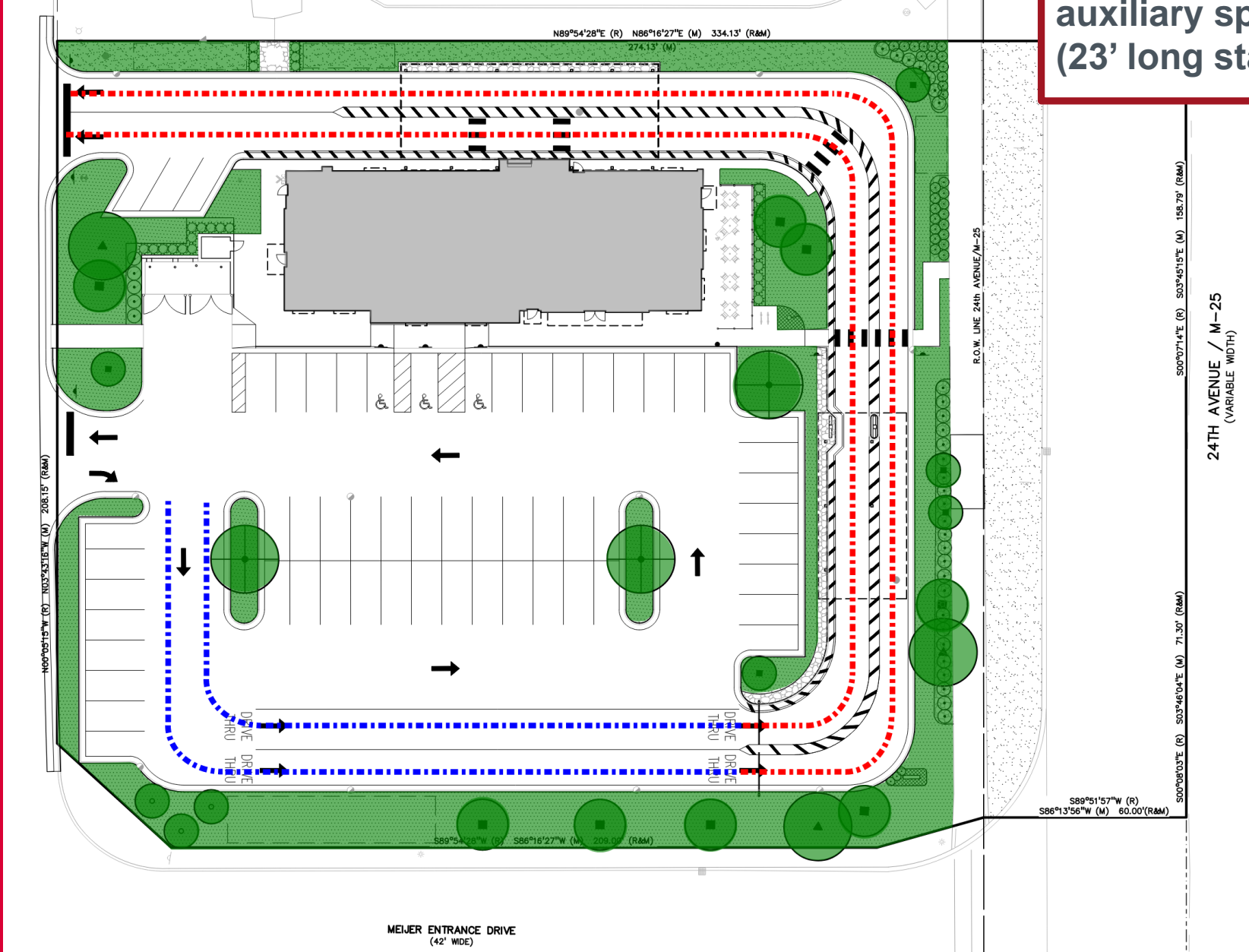


Proposed Site / Landscape Plan



Proposed Drive Through / Stacking

Code requirement: 12 spaces
 Provided: 30 spaces + 20 auxiliary spaces (total 50)
 (23' long stacking spaces)



Questions?



Chick-fil-A Detroit Journey



1
Allen Park
January 2020
❖ Brad Lunsford



4
Shelby Township
January 2021
❖ Dennis Sampier



2
Twelve Oaks (Novi)
June 2020
❖ Michael Killian



5
Woodhaven
October 2021
❖ Cody Gibson



3
Northville
January 2021
❖ Phil Whitsel



6
Southfield
September 2022
❖ Matthew Leverett



Chick-fil-A Detroit Journey continued...

7



Monroe
December 2022
❖ Dustin Schultes

8



Livonia
January 2023
❖ Vikki Brown

9



Flint
September 2023
❖ Greg McKay

Active Development:
Ann Arbor
Auburn Hills
Canton
Chesterfield
Detroit
Lincoln Park
Orion Township
Rochester Hills
Roseville
Saginaw
Taylor
Troy



Detroit Metro Area

CURRENT STATUS

- 8 Chick-fil-A free standing locations plus 2 non-traditional locations (Somerset Mall & Detroit Medical Center)
 - Flint, MI opens September 2023 (#9 Freestanding location)
- 120 average employees per location
- Approximately 1,300+ employees within the Detroit metro area

2023-2033 FOCUS (10 year look ahead)

- 5-10 new locations opened each year
- **50+ new locations in Michigan by 2033**
- \$300+ million direct investment over next 10 years

FUTURE STATE GOAL:

- **To have a CFA location with 10 min drive of 80% of the Detroit metro area population.**





STANDARD SITE FEATURES / OPERATIONS

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Hours of Operation:

- Monday through Saturday – 5:30am to 11:00pm. Hours of operation are determined by the Owner/Operator based on demand and volume.
- Sunday – Closed

Number of Employees (Typical Shift): 15-20 employees



Number of Company Vehicles: One (1) catering van may be utilized if the owner/operator chooses to use this service

Deliveries / Loading Areas:

- After hours key drop deliveries with WB-62 truck are typically made between 12:00am and 5:00am. Deliveries are dropped inside the building.
- During the normal business day (typically scheduled for off-peak hours) a box truck delivery of fresh bread, produce, etc. will be made.

Parking:

- Parking Space – 9'-0" x 18'-0" typ. min.
- Parking – Typically would like 70+ space for a 5,000 sf building. Parking space count is based on experience at various locations and to allow customers with maximum flexibility and ease of navigation.

Refuse:

- Dumpster Enclosure provides space for two trash containers –Pickup day/time is based on vendor schedule by intended to be completed during off-peak hours.
- Hose bibb provided in the dumpster enclosure to allow for regular cleaning / maintenance
- Enclosed room at dumpster enclosure is locked and utilized to store site related maintenance equipment (ie. Shovels, blower, salt, brooms, extra traffic cones, etc)

Building

- 100% brick in light and dark brown
- Building canopy, columns, dumpster enclosure doors and building trim are dark bronze

Drive-through lane circulation

- Chick-fil-A continues to evolve the way fast food is delivered efficiently to their customers by providing the best customer experience and speed of service. The dual flex drive-through lanes allow for flexibility throughout the day by the restaurant operator based on volume, staffing, weather conditions, etc.
- Volume
 - During COVID: Many of the Michigan locations opened during COVID and thus experienced a huge burden on the drive-through.
 - Today: In-store vs drive-through orders (typical of most locations in Michigan):
 - 40-45% dine-in / third-party (Doordash, Grubhub, etc) / order pickup
 - 55-60% drive-through orders
- Drive-through orders may be taken and fulfilled in a variety of ways:



- Both lanes may be utilized to allow customers to enter either lane and stay in the same lane from the order canopy to pickup canopy
- Either lane may be used for mobile / third-party meal delivery orders only
- Both lanes may be utilized for ordering and funneled down to one lane for order pickup
- Single lane only may be utilized
- Etc.
- Employees deliver orders to both lanes via the meal delivery door.
- The drive-through canopies have been designed to keep the customers and employees sheltered from Michigan's various weather conditions.

Drive-through in Emergency:

- In the event of an emergency in the drive-through lane, employees will direct traffic to empty the lane to allow the vehicle to exit.

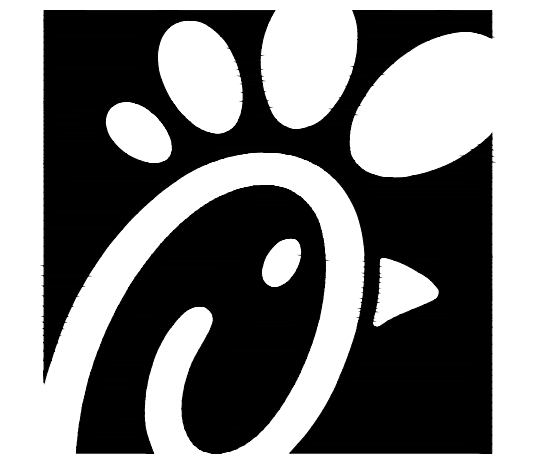
Site Lighting:

- 25' light poles are standard height
- Building mounted sconces on either side of entry doors
- Spotlight for flag/flagpole (ground or roof mounted depending on location)

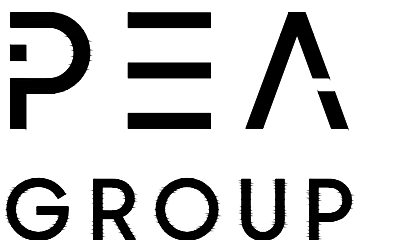
PRELIMINARY SITE PLANS

CHICK-FIL-A FORT GRATIOT

4783 24th AVENUE
 FORT GRATIOT TWP., ST. CLAIR COUNTY, MICHIGAN, 48059
 FSU #05694



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



t: 844.813.2949
 www.peagroup.com



NOT FOR
 CONSTRUCTION

CHICK-FIL-A
FORT GRATIOT
 4783 24TH AVENUE
 FORT GRATIOT TWP.,
 MICHIGAN, 48059

FSU# 05694

BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
 RELEASE: 23.05

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

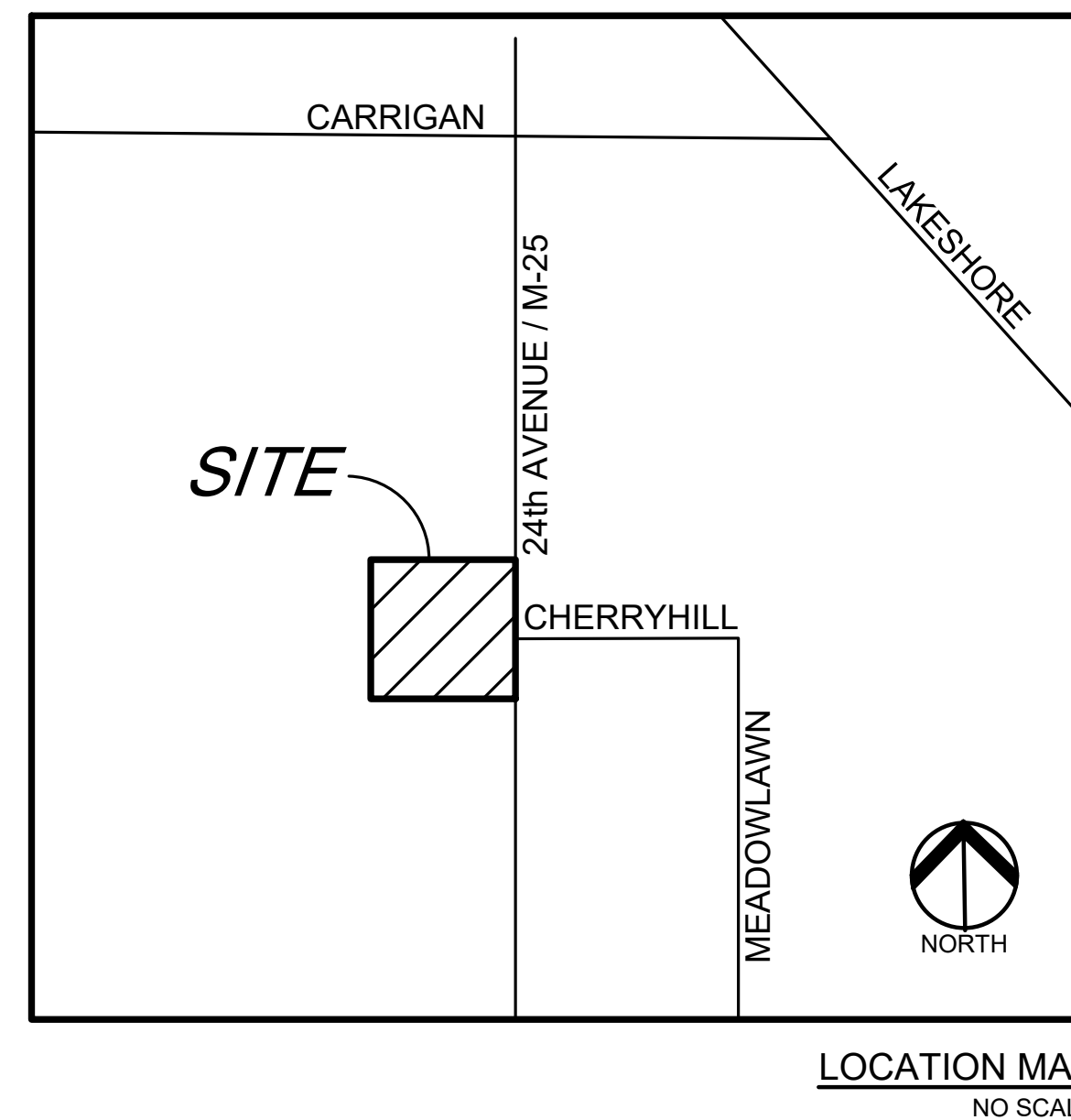
CONSULTANT PROJECT #	23-0886
PRINTED FOR	PCR
DATE	NOVEMBER 2, 2023
DRAWN BY	BV

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SHEET
 COVER SHEET

PEA GROUP
 SHEET NUMBER
C-000

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL



INDEX OF DRAWINGS	
NUMBER	TITLE
C-000	COVER SHEET
C-100	TOPOGRAPHIC SURVEY
C-101	DEMOLITION PLAN
C-200	PRELIMINARY SITE PLAN
C-201	WB-62 TRUCK TURNING PLAN
C-202	FIRE TRUCK TURNING PLAN
C-203	GARBAGE TRUCK TURNING PLAN
C-300	PRELIMINARY GRADING PLAN
C-301	PRELIMINARY STORM SEWER PLAN
PS-100	PRELIMINARY PLUMBING PLAN
C-400	CFA STANDARD DETAILS
C-401	CFA STANDARD DETAILS
C-402	CFA STANDARD DETAILS
C-403	CFA STANDARD DETAILS
LANDSCAPE PLANS	
L-1.0	PRELIMINARY LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
A-201	PROTOTYPE FLOOR PLAN
X-900	PROTOTYPE ELEVATIONS
E-102	PHOTOMETRIC PLAN

DESIGN TEAM

APPLICANT	CIVIL ENGINEER
CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GEORGIA, 30349-2998 CONTACT: JUSTIN LURK PHONE: 573.268.0957 EMAIL: JUSTIN.LURK@CFACORP.COM	PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: LESLIE ACCARDO PHONE: 248.509.7258 EMAIL: LACCARDO@PEAGROUP.COM

ARCHITECT	LANDSCAPE ARCHITECT
GPD GROUP 1117 PERIMETER CENTER WEST, STE. W306 ATLANTA, GA 30339 CONTACT: ERIK RIOS PHONE: 678.781.5075 EMAIL: ERIOS@GPDGROUP.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM

UTILITY CONTACTS

ELECTRICAL SERVICE	SANITARY SEWER SERVICE	WATER SERVICE
JENNIFER POUTTU DTE NATIONAL ACCOUNTS ONE ENERGY PLAZA ROOM 1240WCB DETROIT, MI 48226 PHONE: 313-235-6421 EMAIL: JENNIFER.POUTTU@DTEENERGY.COM	DEPARTMENT OF PUBLIC WORKS FORT GRATIOT CHARTER TOWNSHIP 3720 KEEWAHDIN ROAD FORT GRATIOT, MI 48059 CONTACT: PATTY BUNDY PHONE: 810-385-4489 EMAIL: PBUNDY@FORTGRATIOT.US	DEPARTMENT OF PUBLIC WORKS FORT GRATIOT CHARTER TOWNSHIP 3720 KEEWAHDIN ROAD FORT GRATIOT, MI 48059 CONTACT: PATTY BUNDY PHONE: 810-385-3170 DWP SUPERVISOR EMAIL: PBUNDY@FORTGRATIOT.US
GAS SERVICE	STORM SEWER SERVICE	TELEPHONE SERVICE
SEMCO GAS COMPANY ADDRESS: 2220 16TH STREET FORT HURON, MI 48069 CONTACT: RYAN CAMERON PHONE: 810-531-3690 EMAIL: RYAN.CAMERON@SEMCOENERGY.COM	FORT GRATIOT TOWNSHIP 3720 KEEWAHDIN ROAD FORT GRATIOT, MI 48059 CONTACT: GREG RANDALL DPW PATTY BUNDY PHONE: 810-385-3170 EMAIL: DRANDALL@FORTGRATIOTTWP.ORG	AT&T ADDRESS: 54 N. MILL STREET BOX 35 PONTIAC, MI 48342 CONTACT: GLEN SLOWINSKI



REVISIONS	
DESCRIPTION	DATE
PCR	11/2/2023

File Path
 3/15/2021
 S:\PROJECTS\2023\23-0886_CFA_FORT_GRATIOT_05694\DWG1_SITE_PLAN\01-05694-C-000-COVER SHEET-23-0886.dwg

LEGEND:

- OH-ELEC-W-O-X EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV-X EX. U.G. CABLE TV & PEDESTAL
- UG-COMM-X EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC-O EX. U.G. ELEC. MANHOLE & METER
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT, MANHOLE & CULVERT
- EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- EX. YARD DRAIN, ROOF DRAIN & DOWNSPOUT
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN & GUARD POST
- EX. LIGHT POLE & YARD LIGHT
- EX. FENCE
- EX. GUARD RAIL
- EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- EX. TREE TAG, & TREE LINE
- EX. SPOT ELEVATION
- EX. CONTOUR
- EX. WETLAND
- IRON FOUND / SET
- NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- (R) (M) (C) RECORDED / MEASURED / CALCULATED

REFERENCE DRAWINGS:

- TOPOGRAPHIC SURVEY, PEA JOB NO. 2016-231, DATED 11/14/2016
- UTILITY PLANS, PEA JOB NO. 2016-231, SHEET C-6.1, DATED 05/31/2017
- ALTA/ACSM LAND TITLE SURVEY, GEODITE DESIGNS INC., JOB NO. S178-2014, DATED 08/01/2014
- GOLDEN CORRAL SITE/UTILITY PLAN, CTI & ASSOCIATES PROJECT NO. 68044065, SHEET 2, DATED 01/22/2008
- ELECTRIC DTE ELECTRIC MAP 499-568, DATED 08/09/2023
- CABLE AT&T MAP A1, DATED 07/28/2023
- FIBER COMCAST CABLE EMAIL DATED 07/31/2023
- GAS SEMCO ENERGY MAP, EMAIL DATED 08/03/2023
- SANITARY SEWER SEWER DISTRICT 1982 EXTENSION, JOB NO. 11400-00, SHEET 10
- STORM SEWER SITE/UTILITY PLAN, CTI & ASSOCIATES PROJECT NO. 68044065, SHEET 2, DATED 01/22/2008

LEGAL DESCRIPTION:

(PER CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER 741211494NTS, COMMITMENT DATE AUGUST 3RD, 2023)

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF ST CLAIR, TOWNSHIP OF FORT GRATIOT.

A PARCEL OF LAND LOCATED IN THE EAST 1/2 OF SECTION 16, TOWN 7 NORTH, RANGE 17 EAST, FORT GRATIOT TOWNSHIP, ST. CLAIR COUNTY, MICHIGAN DESCRIBED AS:

BEGINNING AT THE EAST 1/4 CORNER OF SAID SECTION 16, THENCE SOUTH 00 DEGREES 08 MINUTES 03 SECONDS EAST 71.30 FEET ALONG THE EAST LINE OF SECTION 16, THENCE SOUTH 89 DEGREES 51 MINUTES 57 SECONDS WEST 60.00 FEET, THENCE SOUTH 74 DEGREES 10 MINUTES 01 SECONDS WEST 32.76 FEET, THENCE SOUTH 89 DEGREES 54 MINUTES 28 SECONDS WEST 209.00 FEET, THENCE NORTH 47 DEGREES 38 MINUTES 12 SECONDS WEST 45.74 FEET, THENCE NORTH 00 DEGREES 05 MINUTES 15 SECONDS WEST 208.15 FEET, THENCE NORTH 89 DEGREES 54 MINUTES 28 SECONDS EAST 354.13 FEET TO THE EAST LINE OF SECTION 16, THENCE SOUTH 00 DEGREES 07 MINUTES 14 SECONDS EAST 158.79 FEET ALONG THE EAST LINE OF SECTION 16 TO THE POINT OF BEGINNING.

EASEMENT PARCEL 1:

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR DRIVEWAY ACCESS AS CREATED, LIMITED AND DEFINED BY NONEXCLUSIVE DRIVEWAY ACCESS EASEMENT AGREEMENT RECORDED IN LIBER 3667, PAGE 973, ST. CLAIR COUNTY RECORDS.

EASEMENT PARCEL 2:

TOGETHER WITH A NON-EXCLUSIVE EASEMENT FOR PARKING AS CREATED, LIMITED AND DEFINED BY NONEXCLUSIVE PARKING EASEMENT RECORDED IN LIBER 3667, PAGE 992, ST. CLAIR COUNTY RECORDS.

BASIS OF BEARING:

MICHIGAN STATE PLANE COORDINATE SYSTEM, ZONE 2113, GRID NORTH.

BENCHMARKS:

(GPS DERIVED - NAVD88)

BM #300
CUT "C" IN THE WEST SIDE OF A LIGHT POLE BASE LOCATED AT THE NORTHWEST CORNER OF 24TH AVENUE/M-25 & THE NORTHERN ENTRANCE DRIVE TO MEIJER. (NOT SHOWN ON SURVEY, PER PEA JOB NO. 2016-231)
ELEV. - 597.51

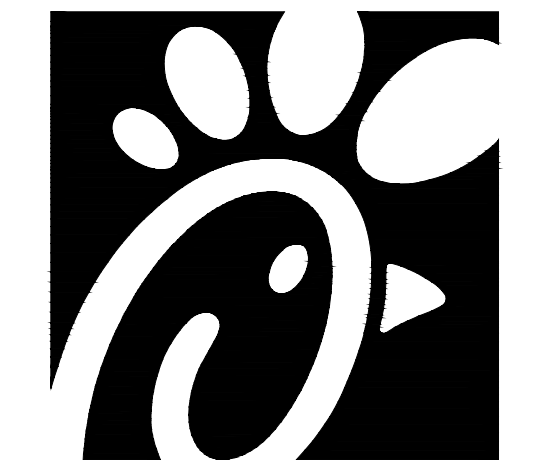
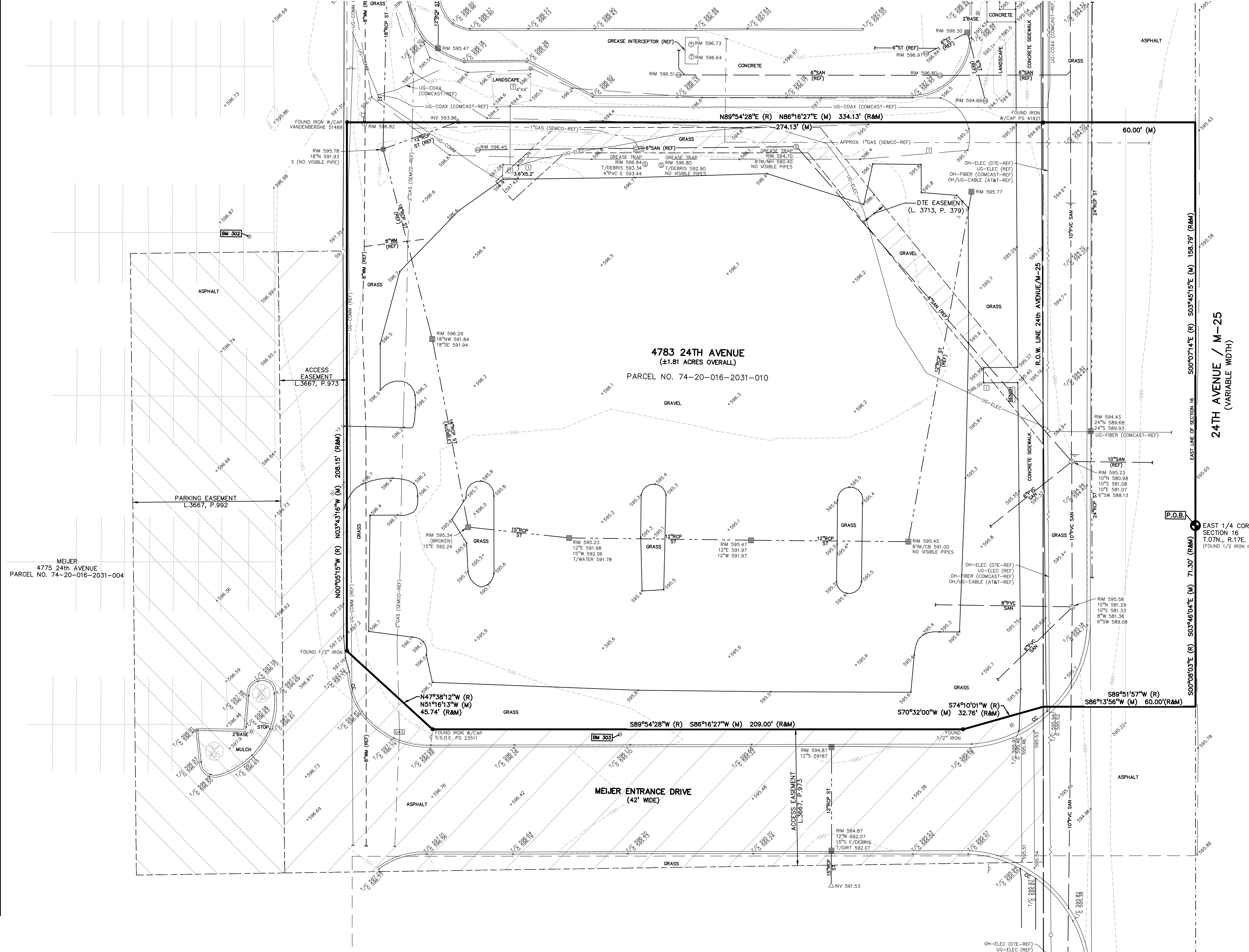
BM #301
CUT "A" IN THE EAST SIDE OF A LIGHT POLE BASE LOCATED IN A CONCRETE ISLAND IN THE NORTHEAST SIDE OF THE MEIJER'S PARKING LOT, SOUTH OF THE NORTHERN ENTRANCE DRIVE TO MEIJER. (NOT SHOWN ON SURVEY, PER PEA JOB NO. 2016-231)
ELEV. - 599.62

BM #302
CUT "X" IN THE EAST SIDE OF A LIGHT POLE BASE LOCATED APPROX 60' SOUTHWEST FROM THE NORTHWEST CORNER OF THE SITE. (PER PEA JOB NO. 2016-231)
ELEV. - 599.23

BM #303
CUT "A" IN A LIGHT POLE BASE LOCATED ON THE SOUTH SIDE OF THE SITE, APPROX. 225' WEST FROM THE CENTERLINE OF 24TH AVENUE/M-25.
ELEV. - 596.10

FLOODPLAIN NOTE:

BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X". AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26147C0237E, DATED 07/19/2022.



Chick-fil-A

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5200 Buffington Road
Atlanta, Georgia 30349-2998

PEA
GROUP

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SCALE: 1" = 20'
NORTH
NOT FOR CONSTRUCTION

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4783 24TH AVENUE
FORT GRATIOT TWP.,
MICHIGAN, 48059

FSU# 05694

BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
RELEASE: 23.05

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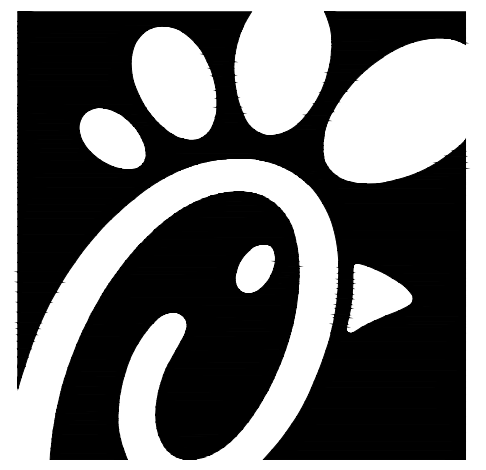
DRAWN BY	
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SHEET
TOPOGRAPHIC SURVEY

SHEET NUMBER

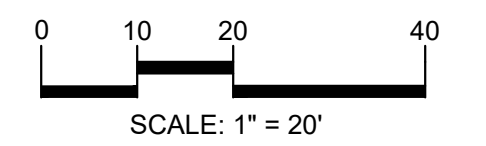
C-100



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SHEET
DEMOLITION PLAN

SHEET NUMBER

C-101

DEMOLITION LEGEND:

ITEM TO BE PROTECTED	
ITEM TO BE REMOVED	
CURB/ FENCE REMOVAL	
CONCRETE PAVEMENT AND SIDEWALK REMOVAL	
AREA OR ITEMS TO BE REMOVED	
UTILITY REMOVAL	
ASPHALT REMOVAL	
SAWCUT LINE	

BENCHMARKS:
 (GPS DERIVED - NAVD88)

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 ELEV. - 597.51

BM #301
 CUT 'M' IN THE EAST SIDE OF A LIGHT POLE BASE LOCATED IN A CONCRETE ISLAND IN THE NORTHEAST SIDE OF THE MEIJER'S PARKING LOT, SOUTH OF THE NORTHERN ENTRANCE DRIVE TO MEIJER. (NOT SHOWN ON SURVEY, PER PEA JOB NO. 2016-231)
 ELEV. - 599.62

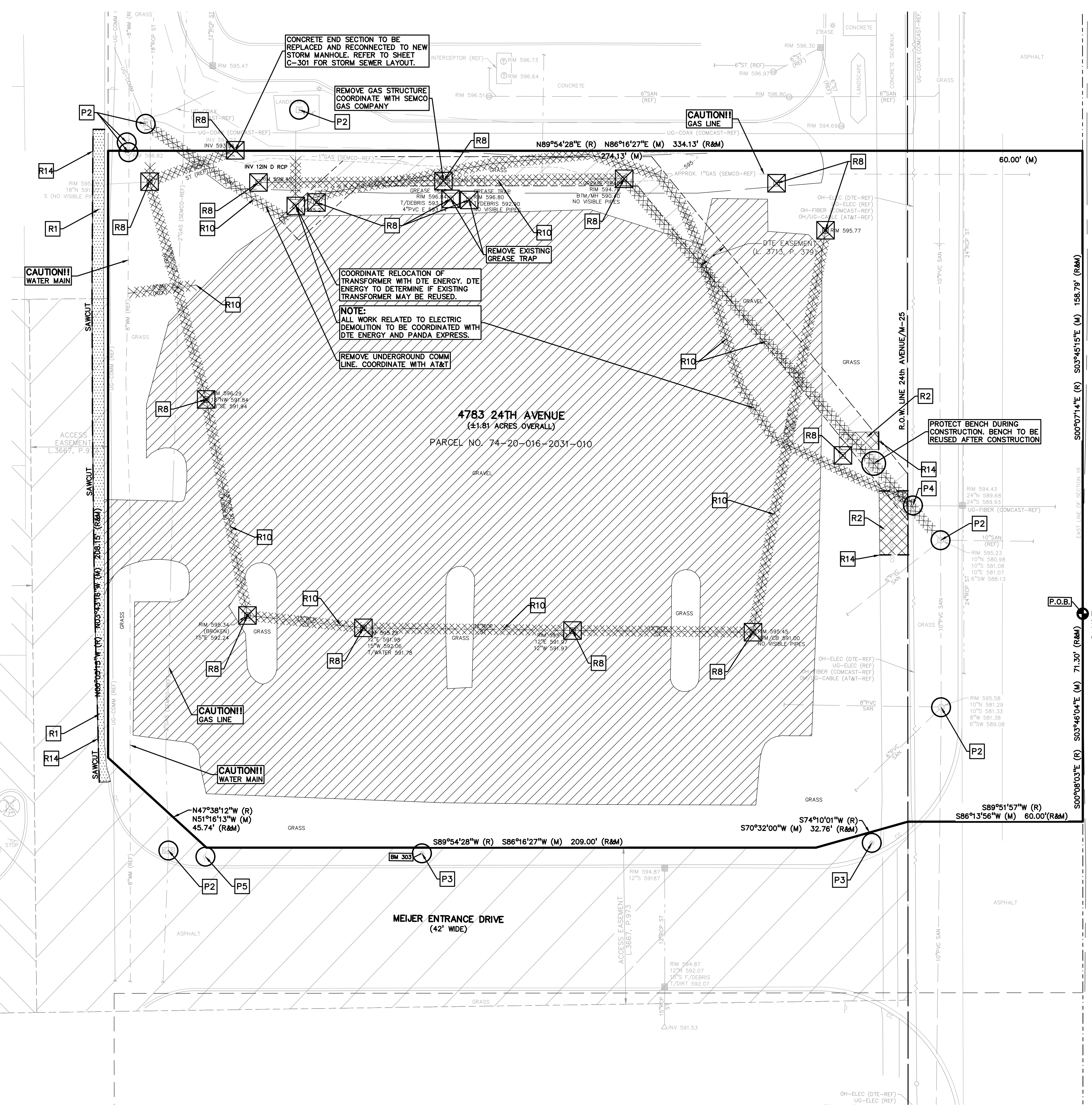
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 ELEV. - 599.23

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 ELEV. - 598.10

- GENERAL DEMOLITION NOTES:**
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 - REFER TO LANDSCAPE PLANS FOR TREE PROTECTION DETAILS.
 - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

KEY NOTES:

P1 - PROTECT TREE (REFER TO LANDSCAPE PLANS FOR DETAIL)	R7 - REMOVE SIGN
P2 - PROTECT UTILITY STRUCTURE	R8 - REMOVE UTILITY STRUCTURE
P3 - PROTECT LIGHT POLE	R9 - REMOVE COLUMN
P4 - PROTECT UTILITY POLE	R10 - REMOVE UTILITY LINE
P5 - PROTECT SIGN	R11 - REMOVE STRUCTURE (SEE BUILDING DEMOLITION NOTE)
R1 - REMOVE ASPHALT PAVEMENT	R12 - REMOVE LANDSCAPING
R2 - REMOVE CONCRETE PAVEMENT/ SIDEWALK	R13 - REMOVE POST/TUBE
R3 - REMOVE TREE	R14 - SAWCUT EXISTING PAVEMENT
R4 - REMOVE CHAINLINK/ IRON FENCE	R15 - REMOVE TRANSFORMER
R5 - REMOVE LIGHT POLE	R16 - REMOVE SCREEN WALL
R6 - REMOVE CONCRETE CURB AND OUTER	R17 - REMOVE EXISTING CHAINLINK FENCE BY DEVELOPER



File Path
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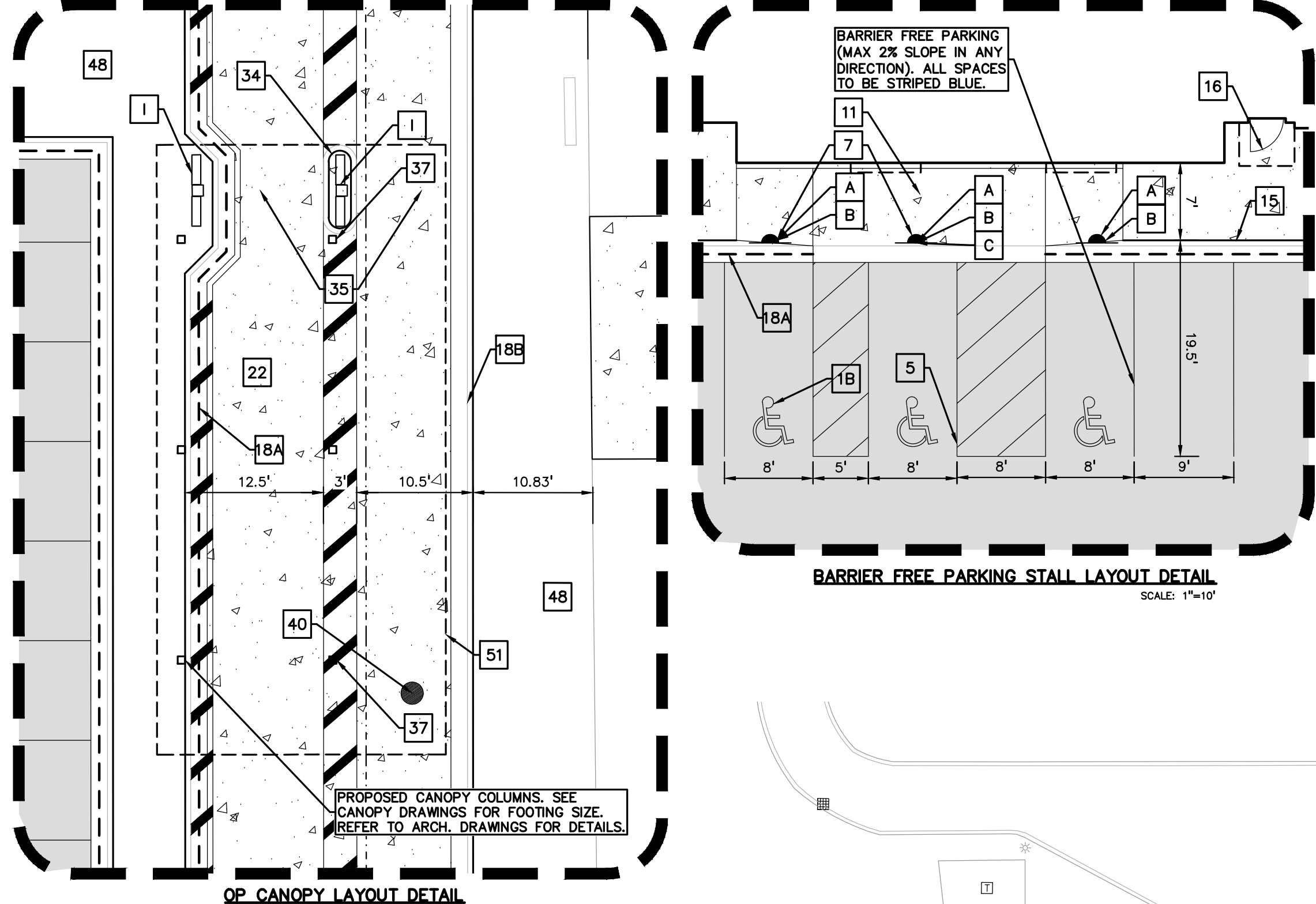
SITE PLAN DESIGN NOTES & KEY PLAN

- 1A DIRECTIONAL ARROW (C-403)
- 1B PAINTED HANDICAP PARKING SYMBOL (C-403)
- 2A DRIVE-THRU GRAPHICS (C-403)
- 2B STOP BAR GRAPHIC (C-403)
- 3 CROSSWALK MARKINGS (C-403)
- 4 MULTI-LANE DIRECTIONAL GRAPHICS (C-403)
- 5 STANDARD OR HANDICAP PARKING STALL PER CODE (C-403)
- 5A 4" SOLID WHITE STRIPING
- 6 4" SOLID YELLOW STRIPING
- 6A 4" SHIP-DASH YELLOW STRIPING
- 6B SOLID PLASTIC WHEEL STOP (C-403)
- 7 BOLLARD MOUNTED SIGN (C-403)
- 8 CURB RAMP w/ SHORT FLARED SIDES (GRASSED AREAS) (C-403)
- 9 CURB RAMP w/ FLARED SIDES (IN SIDEWALK) (C-403)
- 10 RETURNED CURB HANDICAP RAMP (C-403)
- 11 SIDEWALK ACCESSIBLE RAMP (C-403)
- 12 DETECTABLE WARNING DEVICE (C-403)
- 13 TYPICAL ADA RAMP & HANDRAIL (C-403)
- 14 CONCRETE SIDEWALK (C-403)
- 15 CONCRETE SIDEWALK w/ CURB & GUTTER (C-403)
- 16 ENTRY DOOR FROST SLAB DETAIL (C-403)
- 17 CONCRETE BOLLARD (C-403)
- 18 CONCRETE CURB & GUTTER (C-403)
- 18A SPILLING CURB & GUTTER
- 18B CATCHING CURB & GUTTER
- 18C DEPRESSION SPILLING CURB & GUTTER
- 18D DEPRESSION CATCHING CURB & GUTTER
- 18E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP
- 18F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP
- 18G MOUNTABLE CURB & GUTTER

- 19 LANDSCAPE & IRRIGATION PROTECTOR (C-403)
- 20 TYPICAL HMA PAVEMENT SECTION (C-403)
- 21 BUTT JOINT (C-403)
- 22 CONCRETE PAVEMENT DRIVE-THRU LANE (C-403)
- 23 CONCRETE APRON AT TRASH ENCLOSURE (C-403)
- 24 PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES) (C-403)
- 25 CONCRETE PAVEMENT SECTIONS (C-403)
- 26 TRANSVERSE & LONGITUDINAL CONSTRUCTION JOINT (C-403)
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT (C-403)
- 28 CONSTRUCTION JOINT (C-403)
- 29 KEVED CONSTRUCTION JOINT (C-403)
- 30 LONGITUDINAL BUTT JOINT (C-403)
- 31 EXPANSION JOINT (C-403)
- 32 DRIVE-THRU PLAN - FLUSH WITH FFE (C-403)
- 33 DRIVE-THRU ISOMETRIC (C-403)
- 34 DRIVE-THRU ORDER POINT ISLAND (C-403)
- 35 MENU BOARD LOOP DETECTION SYSTEM (C-403)
- 36 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-403)
- 37 CANOPY DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-403)
- 38 SCREENED REFUSE ENCLOSURE/SCREENED OUTDOOR EQUIPMENT ROOM (REFER TO ARCH PLANS FOR ADDITIONAL DETAILS) (C-403)
- 39 CLEAN-OUT (OUTSIDE OF BUILDING) (C-403)
- 40 THICKENED PAVEMENT STRUCTURES (C-403)
- 41 STORM STRUCTURE WEEP HOLE DETAILS (C-403)
- 42 ALUMINUM HANDRAIL (REFER TO ARCH PLANS) (C-403)
- 43 BUILDING DOWNSPOUT CONNECTION
- 44 DRIVE-THRU CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)
- 45 GREASE TRAP
- 46 PROPOSED TRANSFORMER
- 47 BIKE RACK
- 48 LANDSCAPED AREA
- 49 TYPICAL LOCATION FOR OUTDOOR TABLES (REFER TO ARCH PLANS)
- 50 NEW WROUGHT IRON FENCE TO MATCH PATIO BY DEVELOPER
- 51 FREE-STANDING ORDER POINT CANOPY
- 52 FREE-STANDING OUTSIDE MEAL DELIVERY CANOPY
- 53 ROCK MULCH ALONG DRIVE-THRU

SIGN LEGEND

- ** CONTRACTOR TO REFER TO THE SIGNAGE PACKAGE FOR PLACEMENT AND SPECIFICATIONS OF ALL SIGNS **
- A HANDICAP PARKING SIGN (SEE SIGNAGE PACKAGE) R7-B; 12" X 18" (TYP.)
 - B HANDICAP PARKING FINE SIGN (SEE SIGNAGE PACKAGE) 6" X 12" (TYP.)
 - C "VAN ACCESSIBLE" SIGN (SEE SIGNAGE PACKAGE) R7-BP; 6" X 12" (TYP.)
 - D "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE) R5-1; 24" X 24" (TYP.)
 - E STOP SIGN (SEE SIGNAGE PACKAGE) R1-1; 30" X 30" (TYP.)
 - F CFA PEDESTRIAN CROSSING SIGN (SEE SIGNAGE PACKAGE)
 - G FLAG POLE (SEE SIGNAGE PACKAGE)
 - H CFA MONUMENT SIGN
 - I DIGITAL DRIVE-THRU MENU BOARDS
 - J WALL SIGN (SEE SIGNAGE PACKAGE)



SITE DATA TABLE:

SITE AREA: 1.81 ACRES (78,689 SQ.FT.)
 ZONING: C-2 GENERAL BUSINESS
 PROPOSED USE: RESTAURANT (5,109 SF)
BUILDING INFORMATION:
 MAXIMUM ALLOWABLE BUILDING HEIGHT = 45 FEET (3 STORIES)
 PROPOSED BUILDING HEIGHT = 1 STORY
 BUILDING FOOTPRINT AREA = 5,109 SQ.FT.
 BUILDING LOT COVERAGE = 5,109 / 78,689 = 6.5%

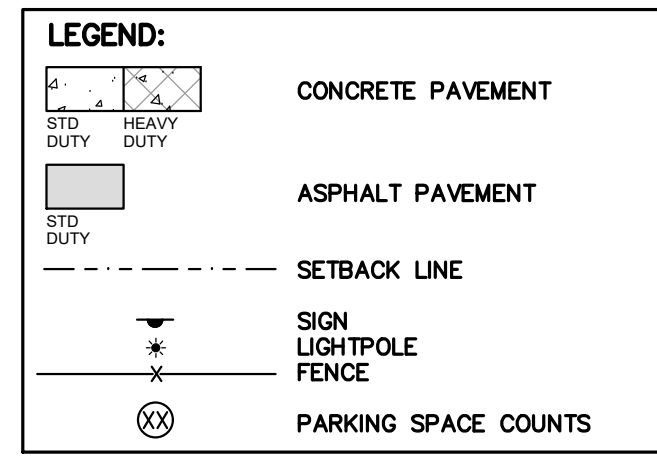
BUILDING SETBACK REQUIREMENTS:

	REQUIRED:	PROPOSED:
FRONT	25'	82.98'
BACK	25'	67.24'
SIDE	30'	35.17'
SIDE	30'	155.51'

PARKING CALCULATIONS:
 ONE SPACE PER 2 EMPLOYEES : 11 SPACES
 ONE SPACE FOR EVERY 2 SEATS INTENDED FOR PATRONS INSIDE THE RESTAURANT BUILDING: 35 SPACES
 ONE SPACE FOR EACH 20 S.F. OF BUILDING FLOOR AREA AVAILABLE IN THE ORDER WAITING AREA: 30 SPACES

TOTAL REQUIRED PARKING SPACES = 76 SPACES
 TOTAL PROPOSED PARKING SPACES WITHIN LEASED PROPERTY = 58 SPACES (INCLUDES 3 BARRIER FREE SPACES)
 TOTAL PROPOSED PARKING SPACES = 96 SPACES (INCLUDES SHARED PARKING AGREEMENT)
 REQUIRED STACKING SPACES = 12 SPACES
 TOTAL PROPOSED STACKING SPACES = (350'x2)/23' = 30 SPACES
 BIKE RACKS PROVIDED = 2 (0 REQUIRED)

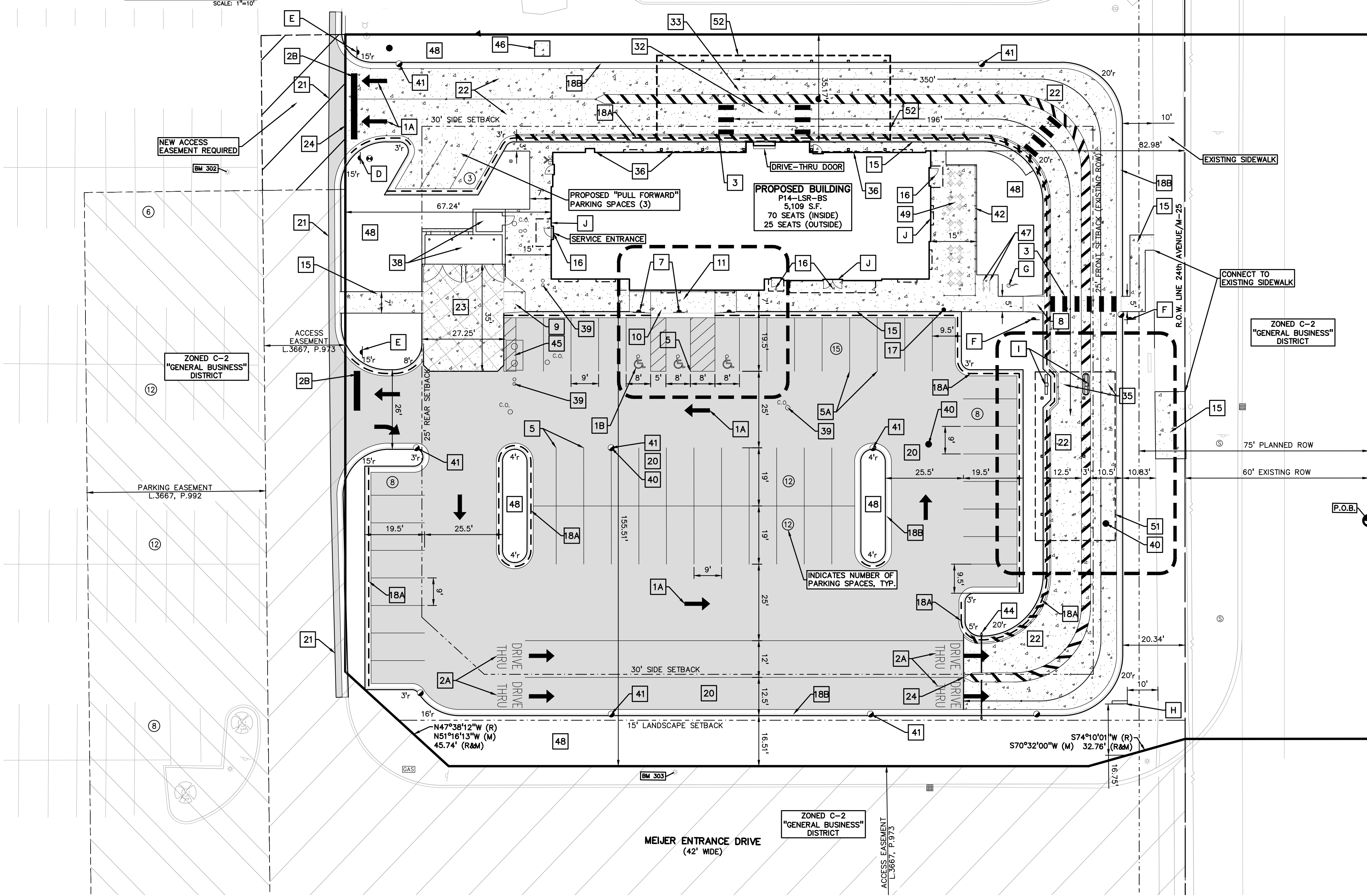
OPEN SPACE:
 OPEN SPACE REQUIRED = N/A
 OPEN SPACE PROVIDED = 21.1%



GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEETS C-400 THROUGH C-403 FOR ON-SITE PAVING DETAILS.

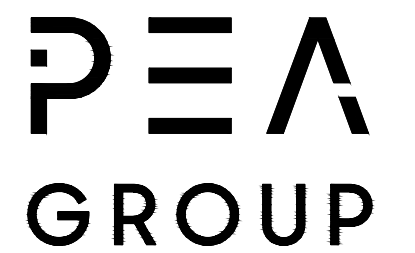


24TH AVENUE / M-25
(VARIABLE WIDTH)

EAST 1/4 CORNE SECTION 16 T.07N., R.17E. (FOUND 1/2 IRON IN N.)



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CHICK-FIL-A
FORT GRATIOT
 4783 24TH AVENUE
 FORT GRATIOT TWP., MICHIGAN, 48059

FSU# 05694
 BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
 RELEASE: 23.05

REVISION SCHEDULE

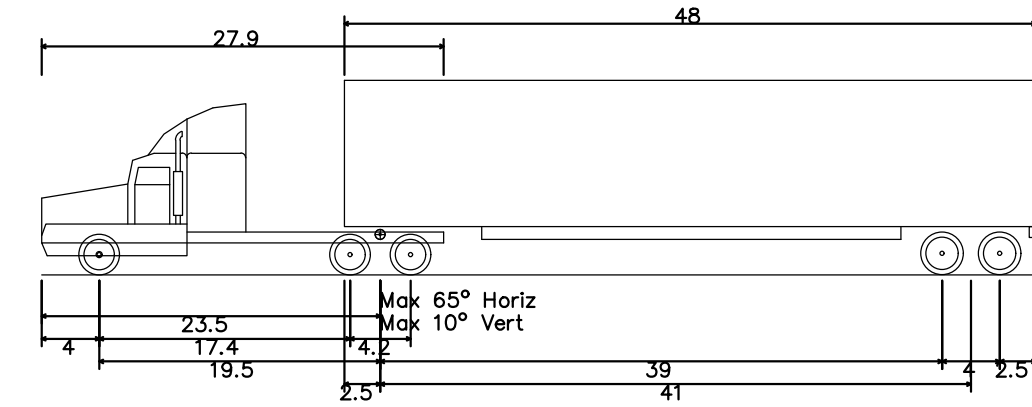
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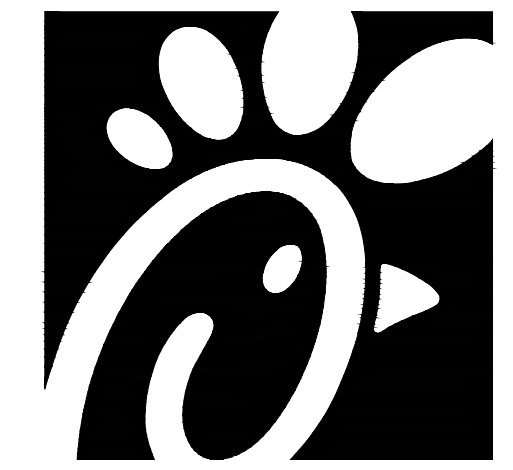
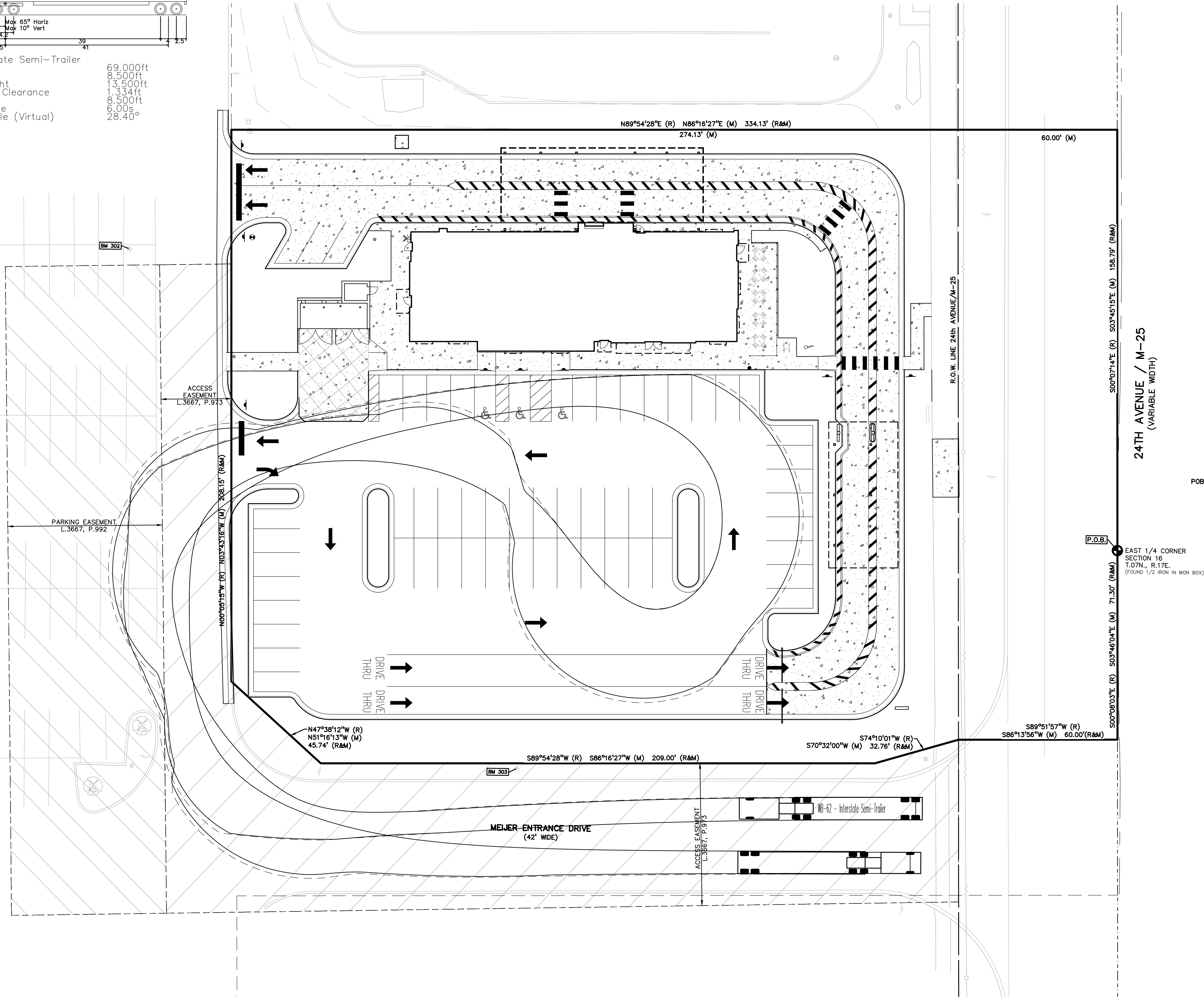
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 SHEET PRELIMINARY SITE PLAN
 SHEET NUMBER

C-200

File Path
 3/15/2021
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WB-62 - Interstate Semi-Trailer
 Overall Length 69.000ft
 Overall Width 9.500ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.334ft
 Max Track Width 8.500ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 28.40°

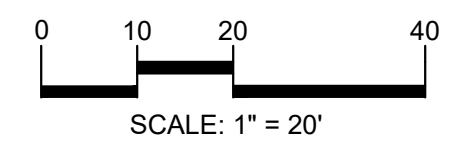


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 MICHIGAN, 48059

FSU# 05694

BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
 RELEASE: 23.05

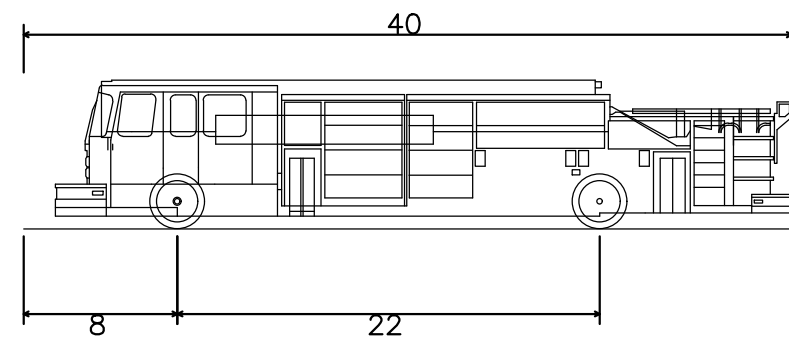
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NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	23-0886
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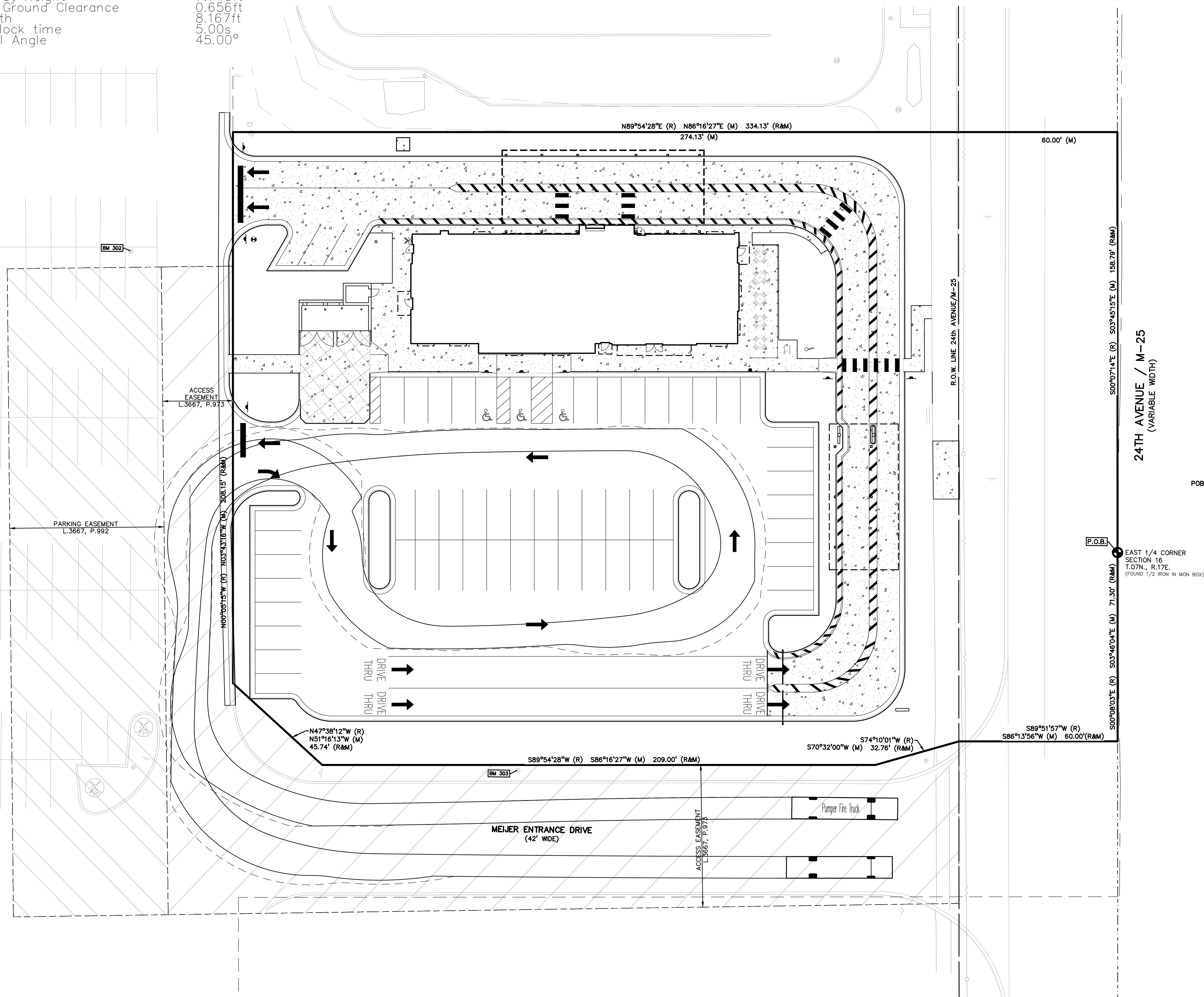
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SHEET
 WB-62 TRUCK
 TURNING PLAN

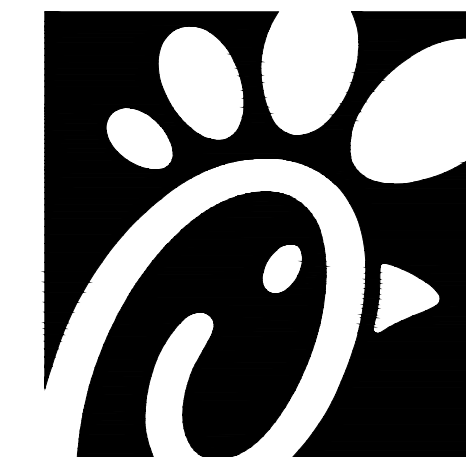
SHEET NUMBER
C-201



Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



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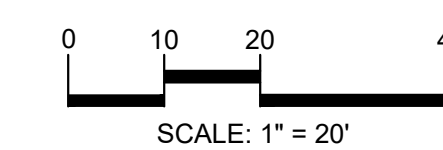


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SCALE: 1" = 20'



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 FORT GRATIOT TWP.,
 MICHIGAN, 48059

FSU# 05694

BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
 RELEASE: 23.05

REVISION SCHEDULE

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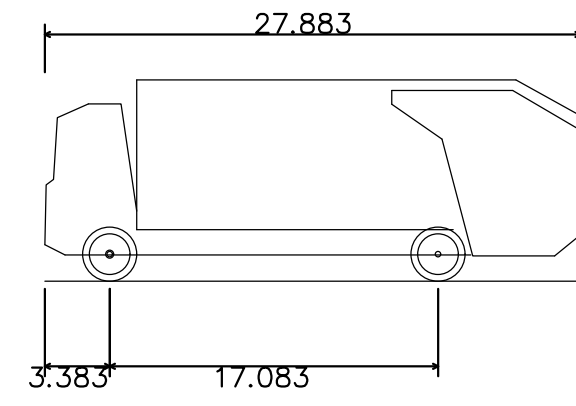
SHEET

FIRE TRUCK

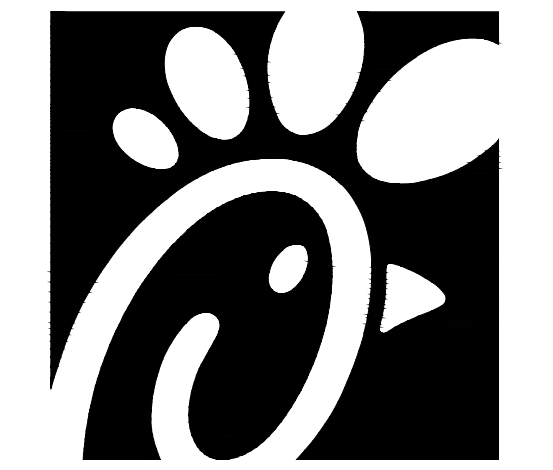
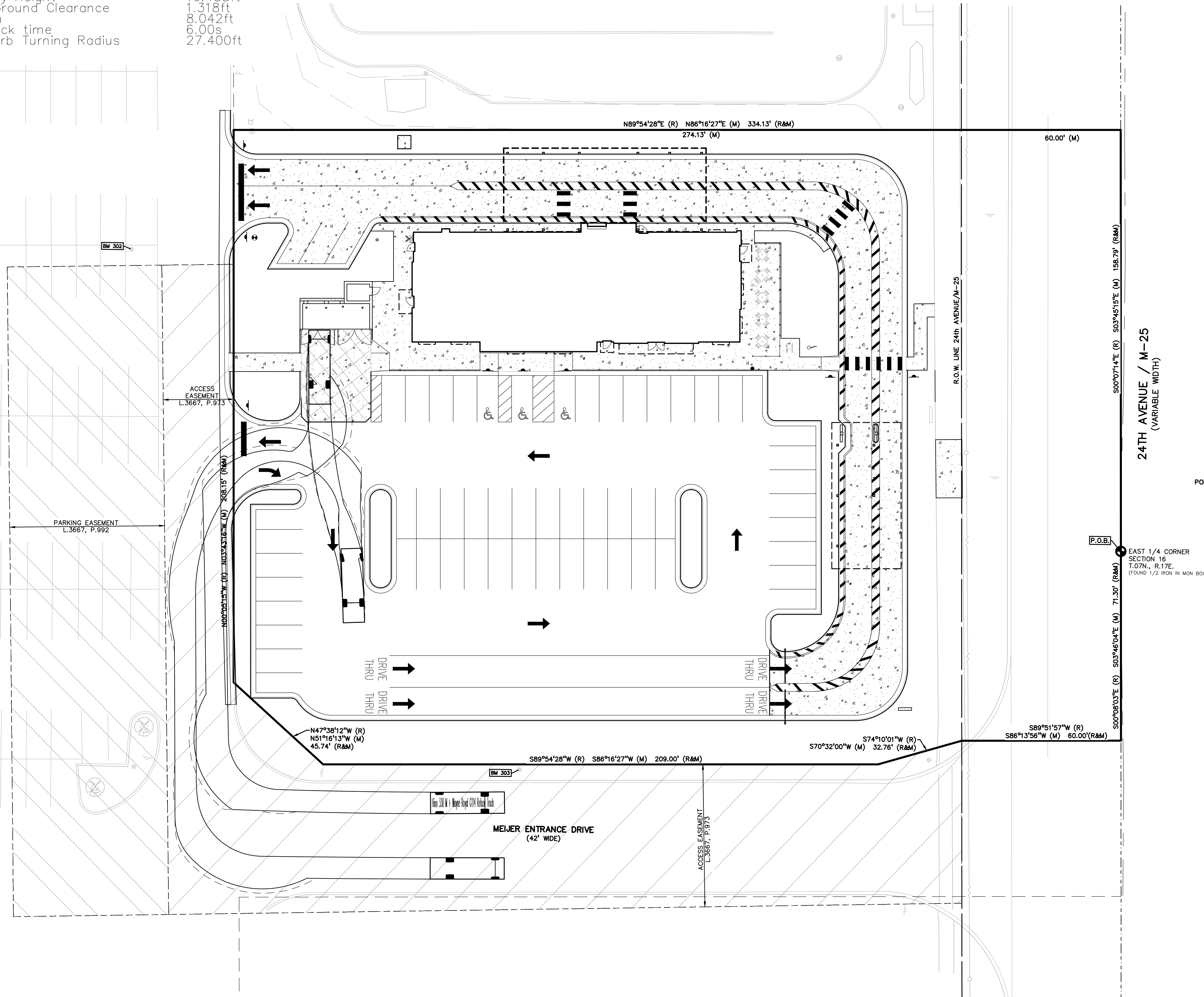
TURNING PLAN

SHEET NUMBER

C-202

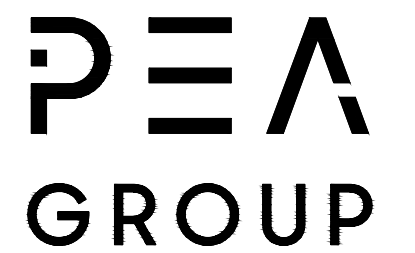


Hino 338 M + Wayne Royal GT14 Refuse Truck
 Overall Length 27.883ft
 Overall Width 8.042ft
 Overall Body Height 10.488ft
 Min Body Ground Clearance 1.318ft
 Track Width 8.042ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 27.400ft

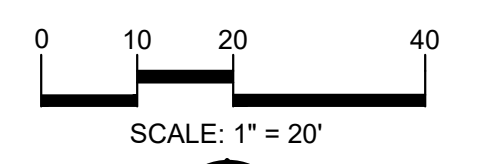


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 MICHIGAN, 48059

FSU# 05694
 BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
 RELEASE: 23.05

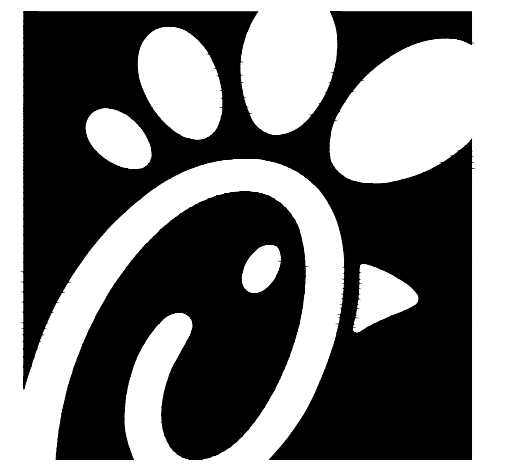
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DATE	NOVEMBER 2, 2023
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SHEET
 GARBAGE TRUCK
 TURNING PLAN

SHEET NUMBER
C-203

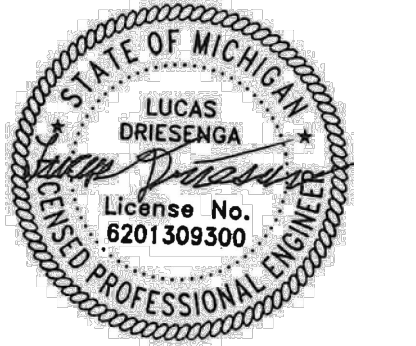


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0 10 20 40
SCALE: 1" = 20'

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CHICK-FIL-A
FORT GRATIOT
4783 24TH AVENUE
FORT GRATIOT TWP.,
MICHIGAN, 48059

FSU# 05694

BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
RELEASE: 23.05

REVISION SCHEDULE

NO. DATE DESCRIPTION

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SHEET
PRELIMINARY
GRADING PLAN

SHEET NUMBER

C-300

GRADING LEGEND:

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

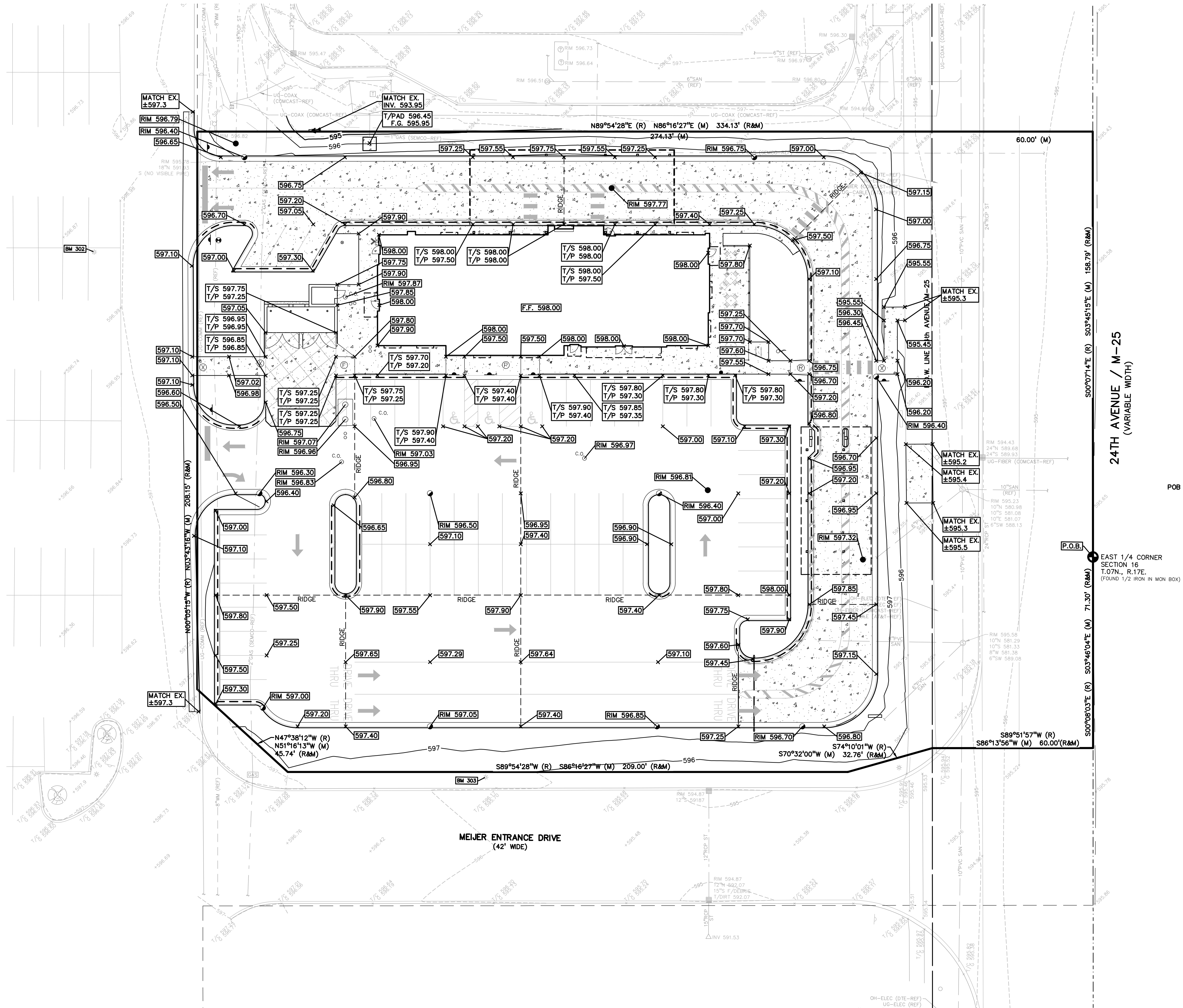
ABBREVIATIONS

T/C = TOP OF CURB G = GUTTER GRADE
 T/P = TOP OF PAVEMENT FF = FINISH FLOOR
 T/S = TOP OF SIDEWALK FG = FINISH GRADE
 T/W = TOP OF WALL RIM = RIM ELEVATION
 B/W = BOTTOM OF WALL

SIDEWALK RAMP LEGEND:

- CURB RAMP W/ 'SHORT FLARED SIDES' (R)
- CURB RAMP W/ 'FLARED SIDES' (F)
- CURB DROP ONLY (NO RAMP) (X)
- SIDEWALK ACCESSIBLE RAMP (P)

REFER TO CHICK-FIL-A STANDARD RAMP DETAILS ON SHEETS C-400, C-401



File Path
3/15/2021
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PLAN-23-0886.dwg

UTILITY LEGEND:

OH-ELEC-W-O EX. OH. ELEC. POLE & GUY WIRE
 UG-CATV EX. U.G. CABLE TV & PEDESTAL
 UG-COMM EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
 UG-ELEC-REF EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
 EX. GAS LINE
 EX. GAS VALVE & GAS LINE MARKER
 EX. TRANSFORMER & IRRIGATION VALVE
 EX. WATER MAIN
 EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
 EX. WATER VALVE BOX & SHUTOFF
 EX. SANITARY SEWER
 EX. SANITARY CLEANOUT & MANHOLE
 EX. COMBINED SEWER MANHOLE
 EX. STORM SEWER
 EX. CLEANOUT & MANHOLE
 EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
 EX. YARD DRAIN & ROOF DRAIN
 EX. UNIDENTIFIED STRUCTURE
 PROPOSED WATER MAIN
 PROPOSED HYDRANT AND GATE VALVE
 PROPOSED TAPPING SLEEVE, VALVE & WELL
 PROPOSED POST INDICATOR VALVE
 PROPOSED SANITARY SEWER
 PROPOSED SANITARY CLEANOUT & MANHOLE
 PROPOSED STORM SEWER
 PROPOSED STORM SEWER CLEANOUT & MANHOLE
 PROPOSED CATCH BASIN, INLET & YARD DRAIN

- ### BENCHMARKS:
- (GPS DERIVED - NAVD83)
- BM #300**
CUT 'C' IN THE WEST SIDE OF A LIGHT POLE BASE LOCATED AT THE NORTHWEST CORNER OF 24TH AVENUE/M-25 & THE NORTHERN ENTRANCE DRIVE TO MEJER. (NOT SHOWN ON SURVEY, PER PEA JOB NO. 2016-231)
ELEV. - 597.51
- BM #301**
CUT 'X' IN THE EAST SIDE OF A LIGHT POLE BASE LOCATED IN A CONCRETE ISLAND IN THE NORTHEAST SIDE OF THE MEJER'S PARKING LOT, SOUTH OF THE NORTHERN ENTRANCE DRIVE TO MEJER. (NOT SHOWN ON SURVEY, PER PEA JOB NO. 2016-231)
ELEV. - 599.62
- BM #302**
CUT 'X' IN THE EAST SIDE OF A LIGHT POLE BASE LOCATED APPROX 60' SOUTHWEST FROM THE NORTHWEST CORNER OF THE SITE. (PER PEA JOB NO. 2016-231)
ELEV. - 599.23
- BM #303**
CUT 'X' IN A LIGHT POLE BASE LOCATED ON THE SOUTH SIDE OF THE SITE, APPROX. 225' WEST FROM THE CENTERLINE OF 24TH AVENUE/M-25.
ELEV. - 598.10
- ### GENERAL UTILITY NOTES:
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
 - WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND THE PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
 - THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
 - THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
 - PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

- ### STORM SEWER NOTES:
- ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE ADS HP STORM (ASTM C-443).
 - ALL STORM SEWER LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
 - ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE SDR 26.
 - JOINTS FOR P.V.C. PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION D-3212.

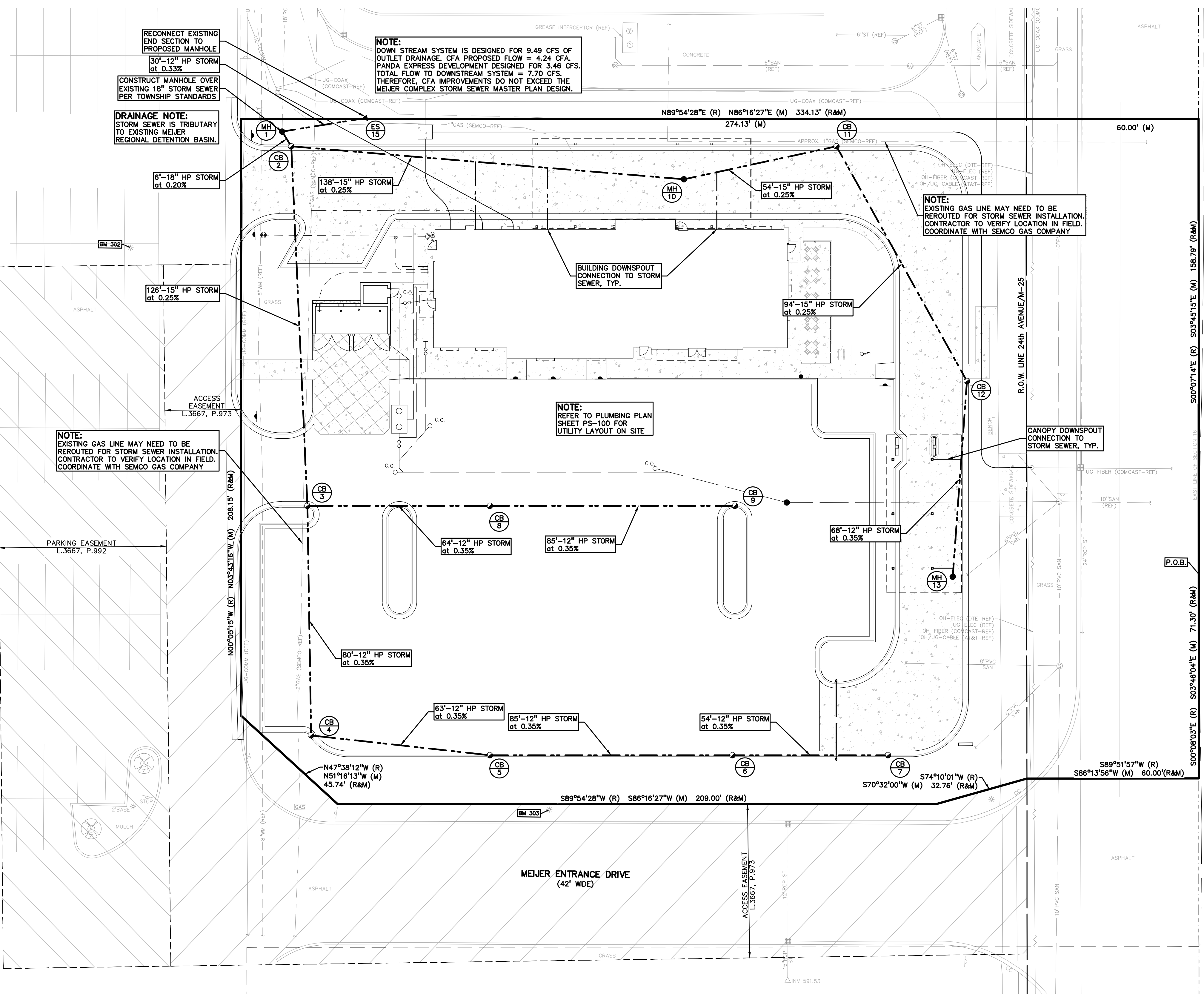
STORM STRUCTURES

MH	CB	Notes
MH 1		(4" DIA./0' SUMP) RIM = 596.79 18" SE 591.90 12" E 593.75
CB 2		(4" DIA./2' SUMP) RIM = 596.40 15" S 591.91 15" E 592.11 18" NW 591.91
CB 3		(4" DIA./2' SUMP) RIM = 596.30 12" S 592.43 12" E 592.43 15" NW 592.23
CB 4		(4" DIA./2' SUMP) RIM = 597.00 12" E 592.71 12" N 592.71
CB 5		(4" DIA./2' SUMP) RIM = 597.05 12" E 592.93 12" W 592.93
CB 6		(4" DIA./2' SUMP) RIM = 596.85 12" E 593.22 12" W 593.22
CB 7		(4" DIA./2' SUMP) RIM = 596.70 12" W 593.41
CB 8		(4" DIA./2' SUMP) RIM = 596.50 12" E 592.65 12" W 592.65
CB 9		(4" DIA./2' SUMP) RIM = 596.40 12" W 592.95
MH 10		(4" DIA./0' SUMP) RIM = 597.77 15" SE 592.46 15" W 592.46
CB 11		(4" DIA./2' SUMP) RIM = 596.75 15" SE 592.59 15" W 592.59
CB 12		(4" DIA./2' SUMP) RIM = 596.40 12" S 593.03 15" NW 592.83
MH 13		(4" DIA./0' SUMP) RIM = 597.32 12" N 593.27

STORM SEWER SYSTEM DESIGN

Location: Fort Gratiot
 $I = B/(T+D) \wedge E$ $B = 175.00$ $D = 25.00$ $E = 1.00$
 $C = \text{varies}$
 $T = 15$ (min.)
 Pipe "n" Value = 0.013

FROM STR	TO STR	AREA (A)	COEF. C	A x C	TOTAL AREA (Ax C)	TOTAL AREA (Acres)	TIME t (min.)	INT. I (in/hr)	FLOW Q (cfs)	PIPE CAP. (cfs)	PIPE DIA. (in.)	PIPE LENGTH (ft.)	PIPE SLOPE (%)	MIN HG PER "Q"	VEL. FULL (ft./sec)	TIME FLOW (min.)	H.G.L. ELEV. UP STREAM	H.G.L. ELEV. DOWN STREAM	RIM ELEV. UP STREAM	RIM ELEV. DOWN STREAM	INVERT ELEV. UP STREAM	INVERT ELEV. DOWN STREAM	PIPE COVER UP STREAM	PIPE COVER DOWN STREAM	HGL COVER UP STREAM	HGL COVER DOWN STREAM
7	6	0.05	0.81	0.04	0.04	0.05	15.00	4.38	0.17	2.11	12	54	0.35	0.00%	2.7	0.3	594.21	594.02	596.70	596.85	593.41	593.22	2.12	2.46	2.49	2.83
6	5	0.10	0.90	0.09	0.13	0.15	15.30	4.34	0.55	2.11	12	85	0.35	0.02%	2.7	0.5	594.02	593.73	596.85	597.05	593.22	592.93	2.46	2.96	2.83	3.32
5	4	0.07	0.90	0.07	0.19	0.22	15.80	4.29	0.83	2.11	12	63	0.35	0.05%	2.7	0.4	593.73	593.51	597.05	597.00	592.93	592.71	2.96	3.13	3.32	3.49
4	3	0.05	0.90	0.05	0.24	0.27	16.20	4.25	1.02	2.11	12	80	0.35	0.08%	2.7	0.5	593.51	593.33	597.05	596.30	592.71	592.43	3.13	3.49	2.97	3.29
3	2	0.12	0.79	0.09	0.63	0.73	16.70	4.20	2.86	3.23	15	126	0.25	0.17%	2.6	0.8	593.33	593.11	596.30	596.40	592.43	591.91	2.64	3.05	2.97	3.29
2	1	0.14	0.80	0.11	1.03	1.22	17.50	4.12	4.24	4.70	18	6	0.20	0.16%	2.7	0.0	593.11	593.10	596.40	596.79	591.91	591.90	2.78	3.19	3.29	3.69
9	8	0.20	0.89	0.18	0.18	0.20	15.00	4.38	0.77	2.11	12	85	0.35	0.05%	2.7	0.5	593.75	593.45	596.40	596.50	592.95	592.65	2.29	2.68	2.65	3.05
8	3	0.14	0.88	0.12	0.30	0.34	15.50	4.32	1.30	2.11	12	64	0.35	0.13%	2.7	0.4	593.45	593.33	596.50	596.30	592.65	592.43	2.68	2.71	3.05	2.97
13	12	0.00	0.00	0.00	0.00	0.00	15.00	4.38	0.00	2.11	12	68	0.35	0.00%	2.7	0.4	594.07	593.83	597.32	596.40	593.27	593.03	2.89	2.21	3.26	2.57
12	11	0.15	0.72	0.11	0.11	0.15	15.40	4.33	0.48	3.23	15	94	0.25	0.01%	2.6	0.6	593.83	593.59	596.40	596.75	592.83	592.59	2.14	2.72	2.57	3.16
11	10	0.19	0.89	0.17	0.28	0.35	16.00	4.27	1.21	3.23	15	54	0.25	0.04%	2.6	0.3	593.59	593.46	596.75	597.77	592.59	592.46	2.72	3.88	3.16	4.31
10	2	0.00	0.00	0.00	0.28	0.35	16.30	4.24	1.21	3.23	15	138	0.25	0.04%	2.6	0.9	593.46	593.11	597.77	596.40	592.46	592.11	3.88	2.85	4.31	3.29



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 LUCAS DRIESSEN
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0 10 20 40
 SCALE: 1" = 20'
 NORTH
 NOT FOR CONSTRUCTION

CHICK-FIL-A

FORT GRATIOT

4783 24TH AVENUE
FORT GRATIOT TWP., MICHIGAN, 48059

FSU# 05694

BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
 RELEASE: 23.05

REVISION SCHEDULE
 NO. DATE DESCRIPTION

CONSULTANT PROJECT # 23-0886
 PRINTED FOR PCR
 DATE NOVEMBER 2, 2023
 DRAWN BY BV

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SHEET PRELIMINARY STORM SEWER PLAN
 SHEET NUMBER
C-301



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

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GROUP

t: 844.813.2949
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SCALE: 1" = 20'



NORTH
NOT FOR
CONSTRUCTION

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FORT GRATIOT
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FORT GRATIOT TWP.,
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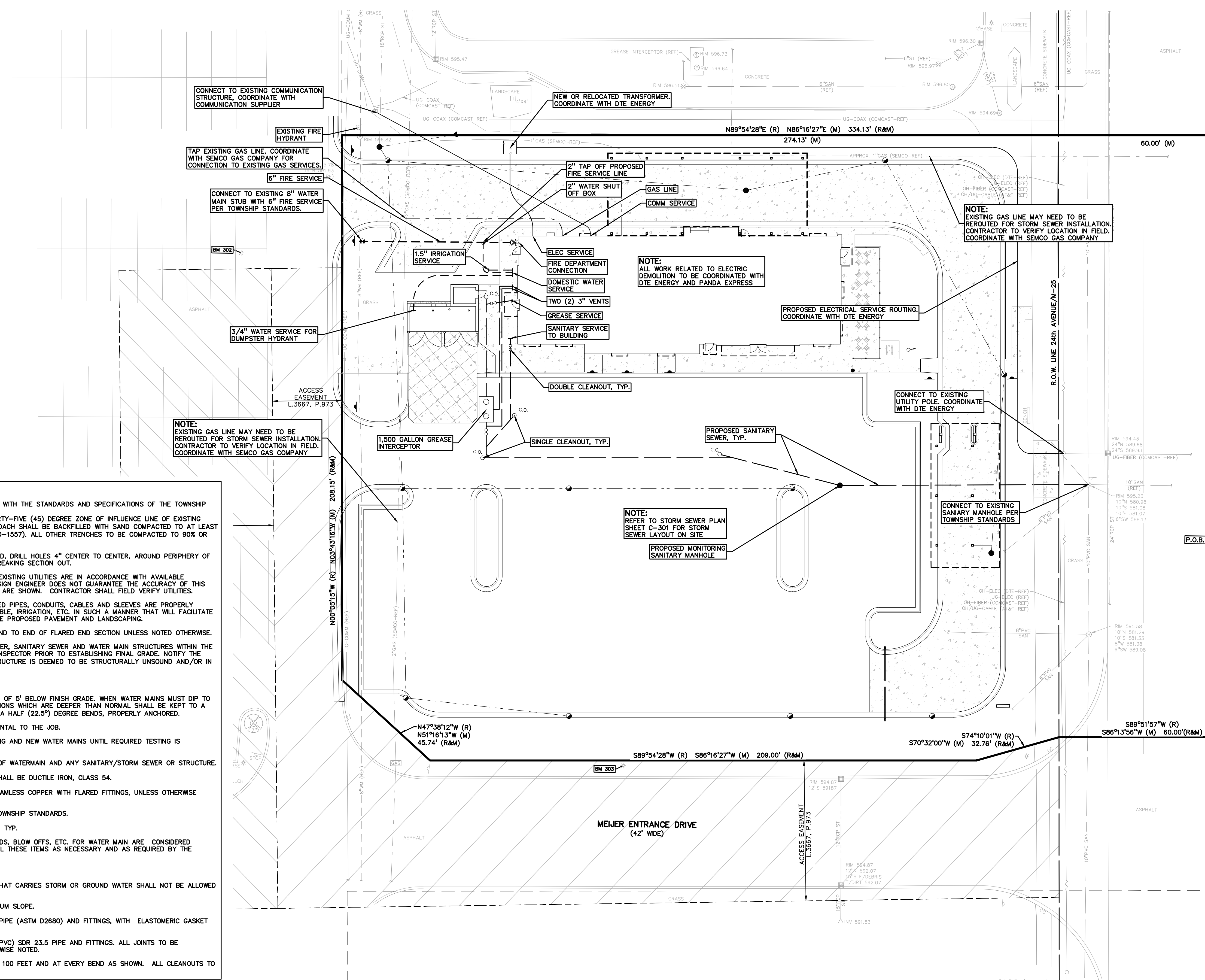
SHEET PRELIMINARY PLUMBING PLAN

SHEET NUMBER

PS-100

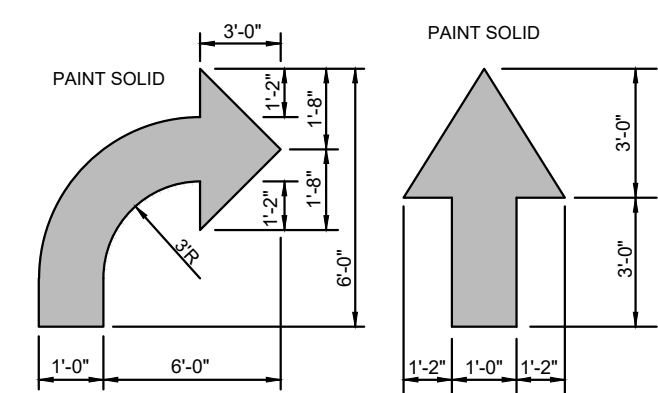
UTILITY LEGEND:

OH-ELEC-W-C	EX. OH. ELEC. POLE & GUY WIRE
UG-CATV	EX. U.G. CABLE TV & PEDESTAL
UG-COMM	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
UG-ELEC-D	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
---	EX. GAS LINE
⊗	EX. GAS VALVE & GAS LINE MARKER
⊠	EX. TRANSFORMER & IRRIGATION VALVE
---	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊙	EX. WATER VALVE BOX & SHUTOFF
⊗	EX. SANITARY SEWER
⊠	EX. SANITARY CLEANOUT & MANHOLE
⊕	EX. COMBINED SEWER MANHOLE
---	EX. STORM SEWER
⊠	EX. CLEANOUT & MANHOLE
⊠	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊠	EX. YARD DRAIN & ROOF DRAIN
---	EX. UNIDENTIFIED STRUCTURE
---	PROPOSED WATER MAIN
⊕	PROPOSED HYDRANT AND GATE VALVE
⊕	PROPOSED TAPPING SLEEVE, VALVE & WELL
⊕	PROPOSED POST INDICATOR VALVE
⊗	PROPOSED SANITARY SEWER
⊠	PROPOSED SANITARY CLEANOUT & MANHOLE
⊗	PROPOSED STORM SEWER
⊠	PROPOSED STORM SEWER CLEANOUT & MANHOLE
⊠	PROPOSED CATCH BASIN, INLET & YARD DRAIN

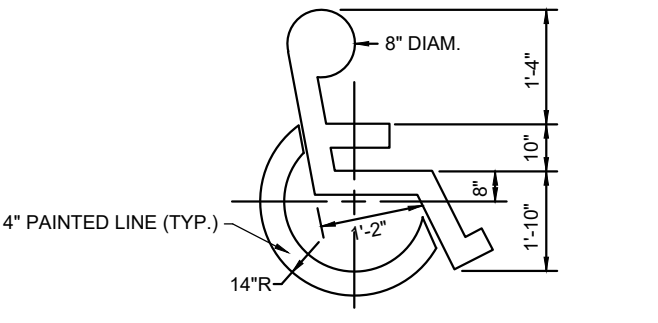


- GENERAL UTILITY NOTES:**
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP
 - ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
 - WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
 - THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
 - THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
 - PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.
- WATER MAIN NOTES:**
- ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5) DEGREE BENDS, PROPERLY ANCHORED.
 - ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
 - PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL REQUIRED TESTING IS SATISFACTORILY COMPLETED.
 - MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY/STORM SEWER OR STRUCTURE.
 - ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
 - WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
 - ALL FIRE HYDRANTS SHALL BE EJIW #5BR MODEL #250 PER TOWNSHIP STANDARDS.
 - ALL HYDRANTS TO BE A MINIMUM OF 5' FROM BACK OF CURB, TYP.
 - ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE TOWNSHIP.
- SANITARY SEWER NOTES:**
- DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
 - ALL SANITARY LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
 - ALL SANITARY SEWER 8" OR LARGER SHALL BE P.V.C. TRUSS PIPE (ASTM D2680) AND FITTINGS, WITH ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
 - ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
 - SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.I.W. #1565 BOX OR EQUAL.

File Path
3/15/2021
S:\PROJECTS\2023\23-0886_CFA_FORT_GRATIOT_SITE_PLAN\04-05694-PS-100-PLUMBING
SITE PLAN-23-0886.dwg



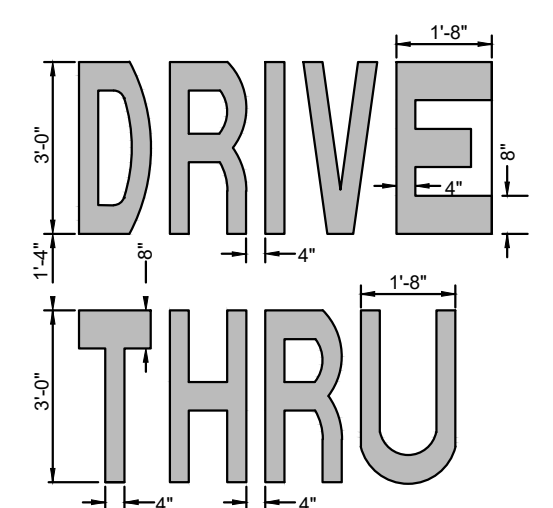
1A DIRECTIONAL ARROW
C-400
NOT TO SCALE



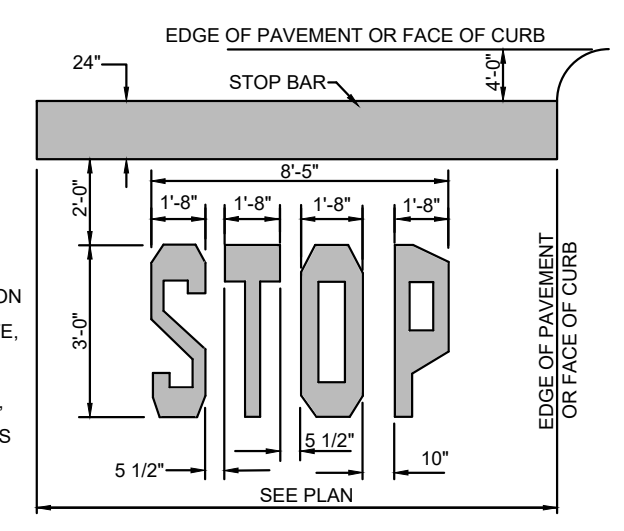
1B ACCESSIBILITY SYMBOL
C-400
NOT TO SCALE

- NOTES:**
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5/C-400).
 2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

1 PAVEMENT MARKINGS - 1
C-400
NOT TO SCALE



2A DRIVE-THRU
C-400
NOT TO SCALE

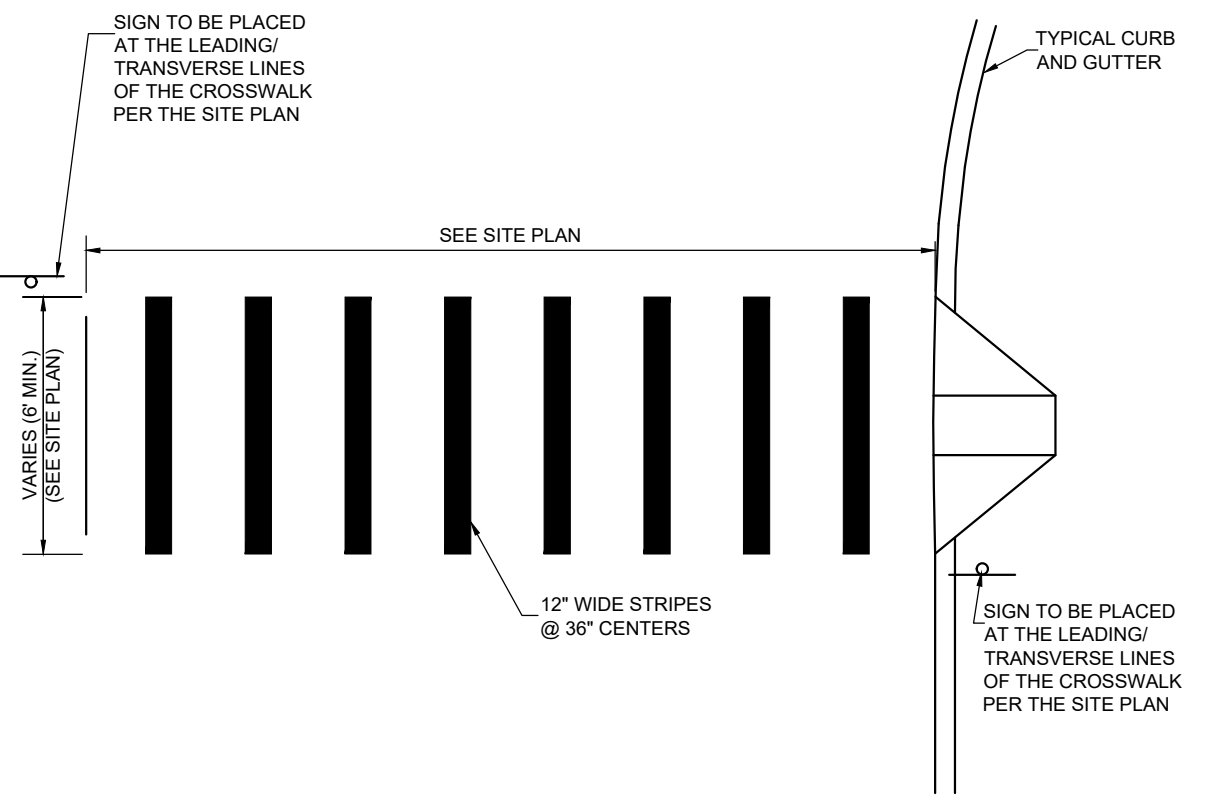


2B STOP BAR
C-400
NOT TO SCALE

- NOTES:**
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.
 2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

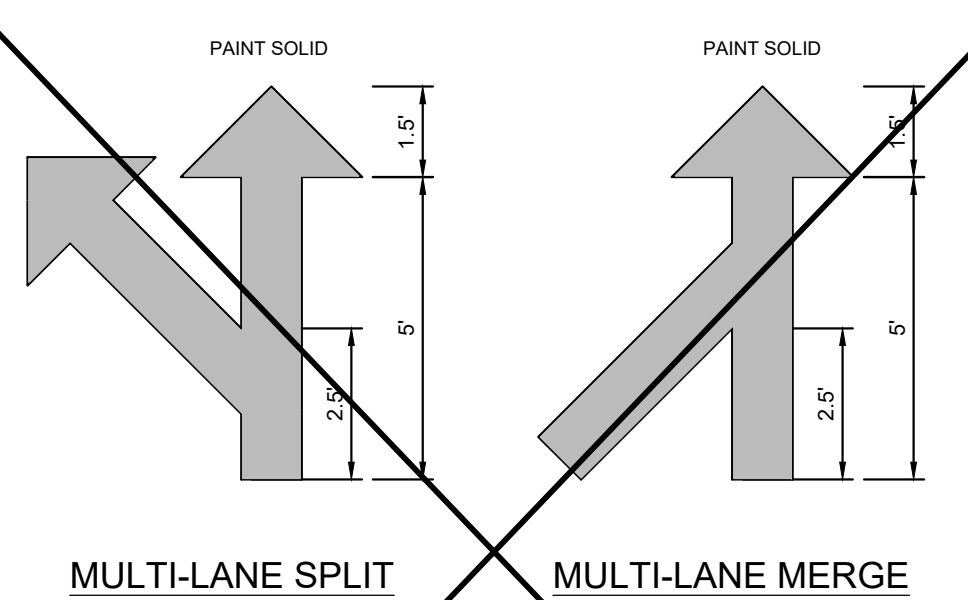
NOTE:
IF STOP SIGN IS PROPOSED, "STOP" LETTERING GRAPHIC IS NOT REQUIRED.

2 PAVEMENT MARKINGS - 2
C-400
NOT TO SCALE



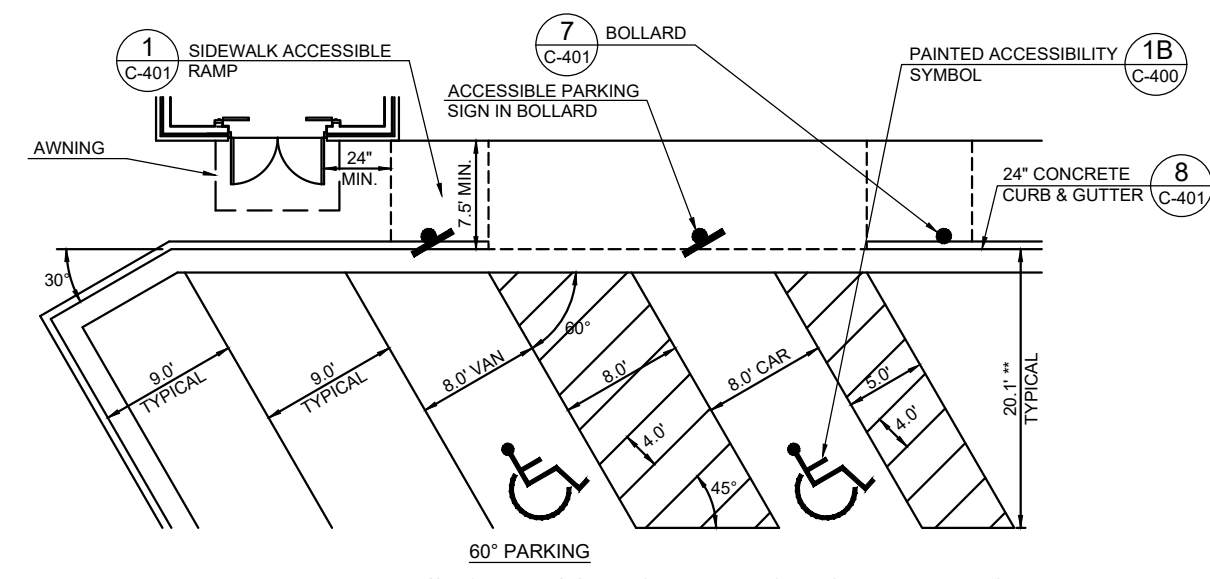
- NOTES:**
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5/C-400).
 2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

3 CROSSWALK MARKINGS
C-400
NOT TO SCALE



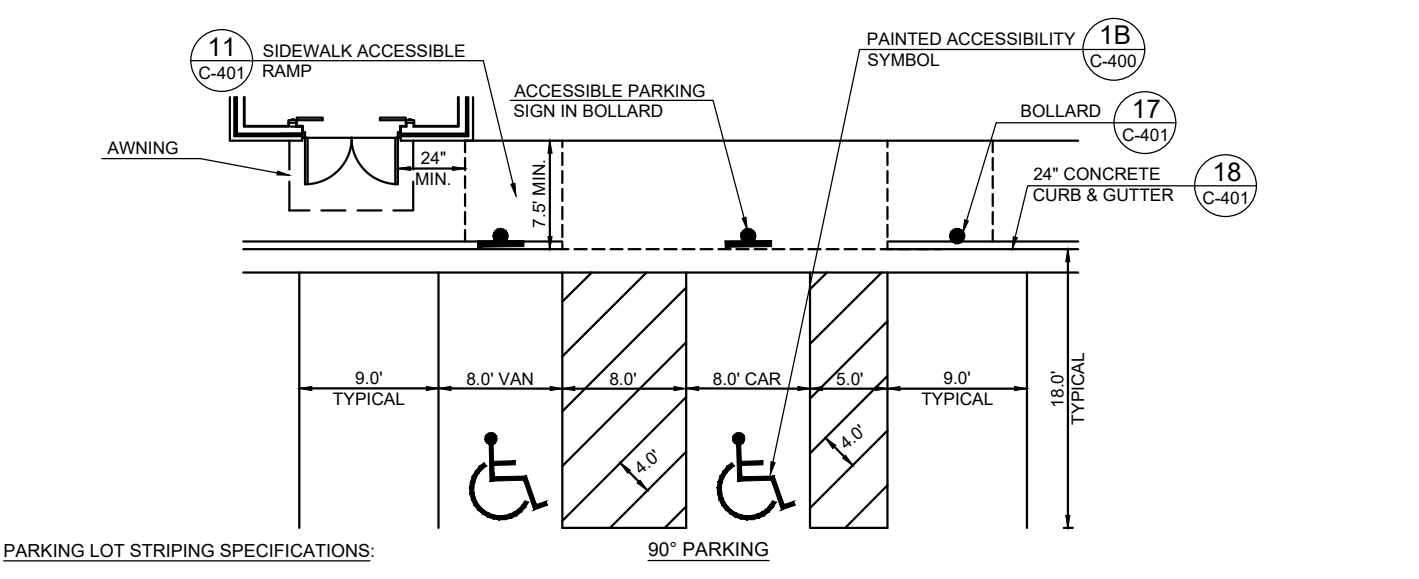
- NOTES:**
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5/C-400).
 2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

4 MULTI-LANE DIRECTIONAL GRAPHICS
C-400
NOT TO SCALE



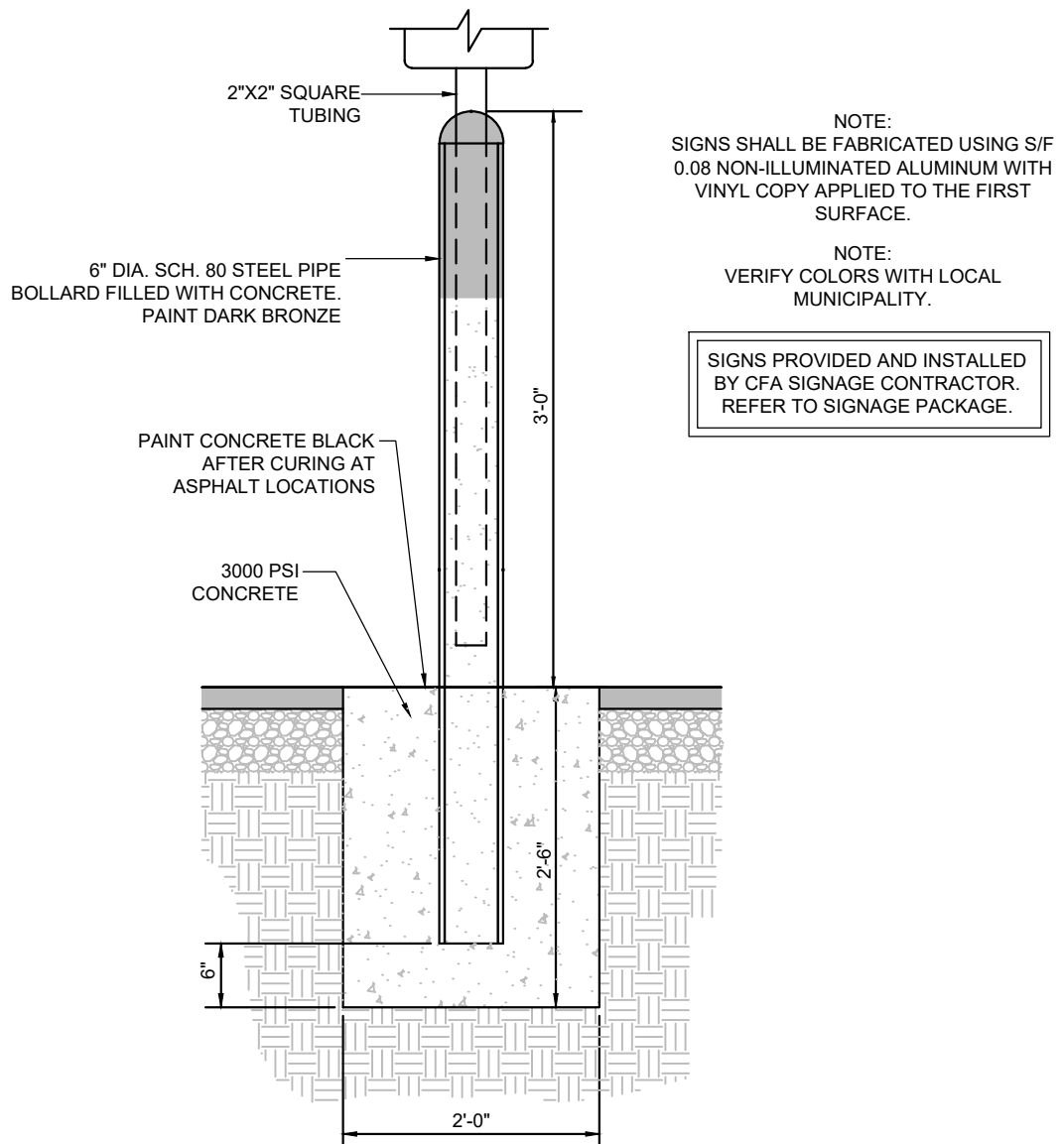
5 PARKING STALL LAYOUT AND STRIPING
C-400
NOT TO SCALE

- NOTES:**
1. ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1.5% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS AISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
 2. PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S AND ADA STANDARDS. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.
 3. GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, THIS DETAIL.
 4. CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
 5. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
 6. ACCESSIBLE PARKING AND ACCESSIBLE AISLE STRIPING COLOR SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
 7. NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
 8. ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.
 9. ALL DIMENSIONS ARE TO CENTER OF STRIPE UNLESS OTHERWISE NOTED.
 10. STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

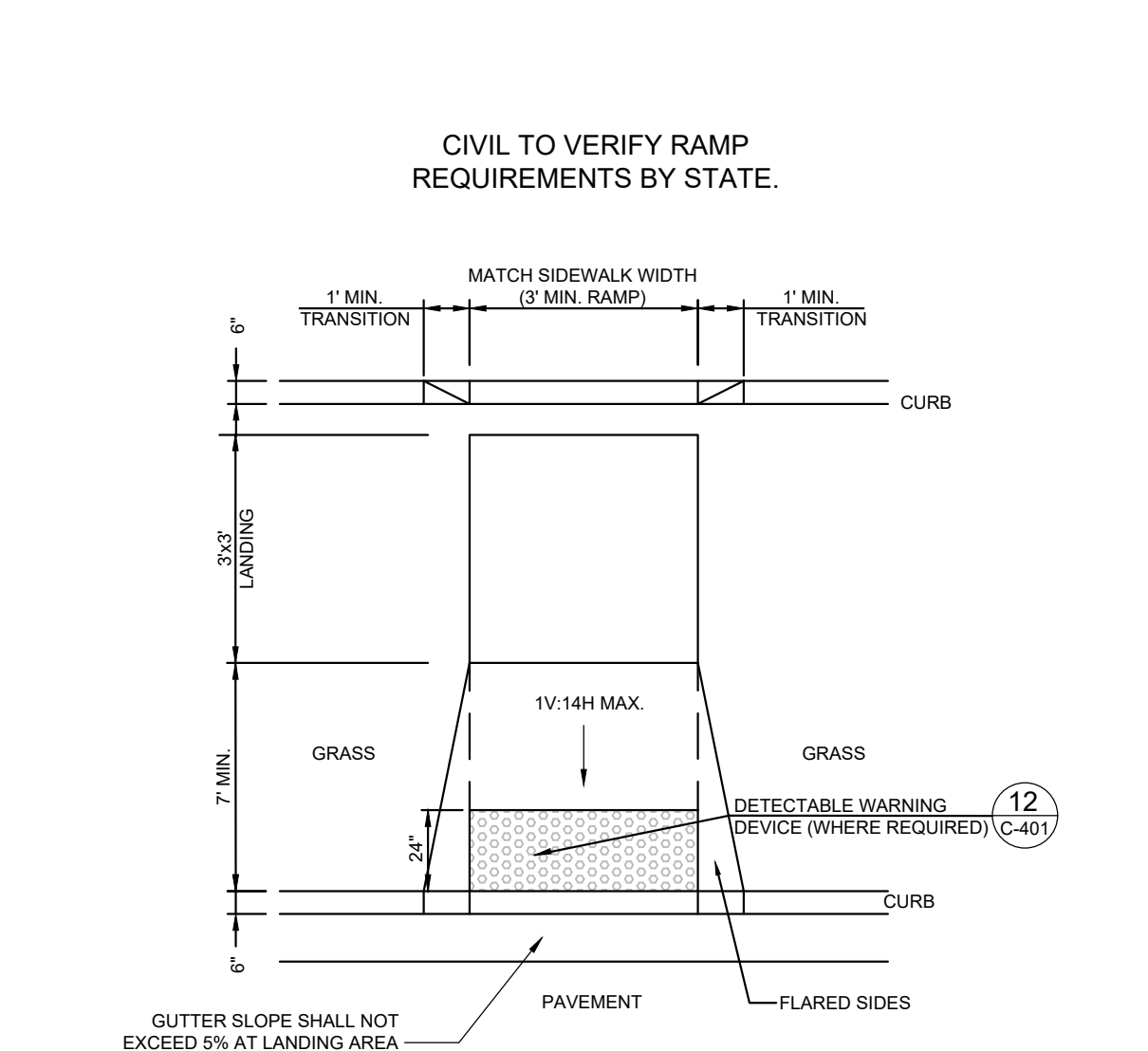


6 SOLID PLASTIC WHEEL STOP
C-400
NOT TO SCALE

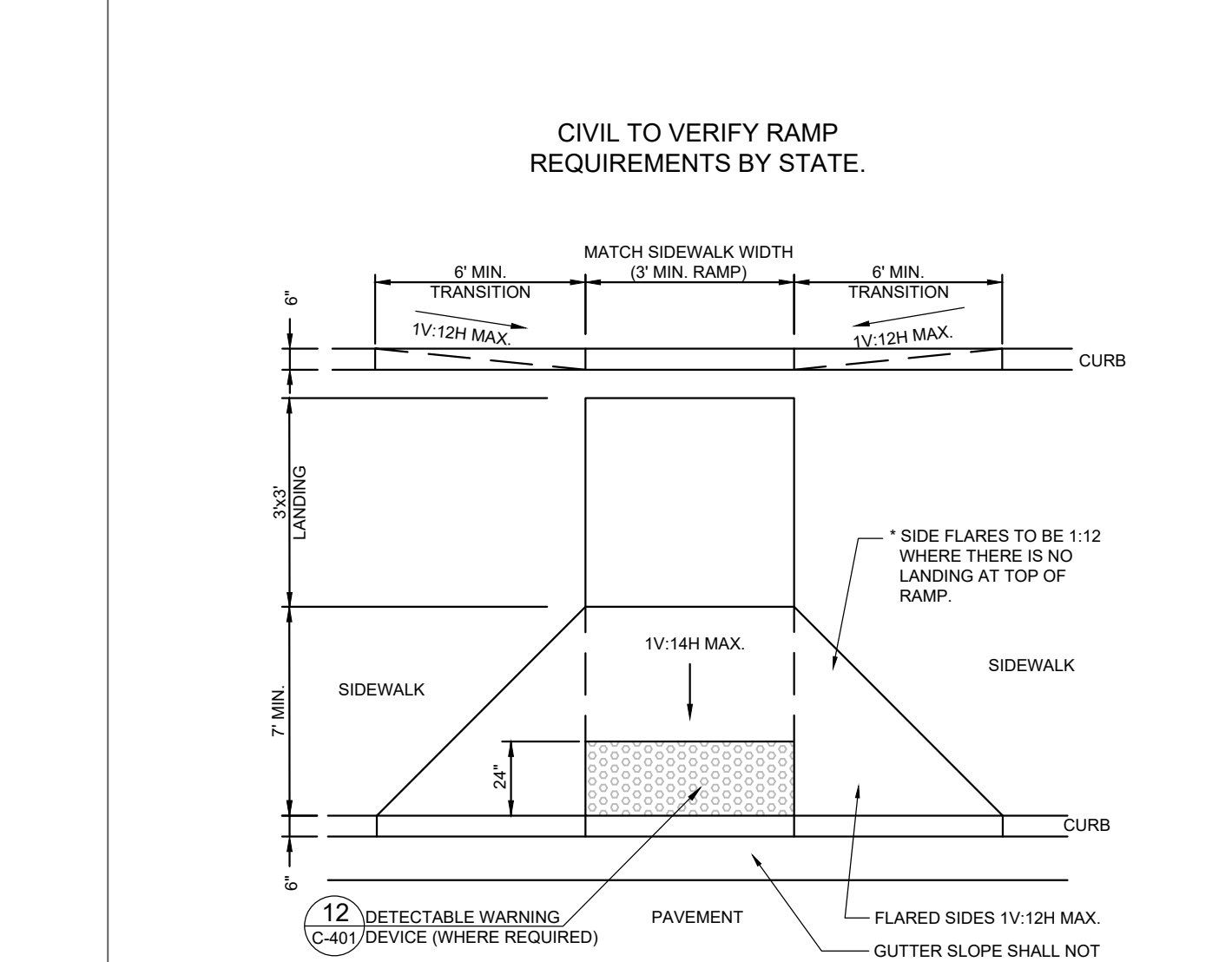
- STANDARDS:**
1. ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS.
 2. SURFACES SHOULD BE CLEAN, DRY, AND FREE FROM LOOSE OR PEELING PAINT. REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 40°F.
 3. APPLY SHERWIN-WILLIAMS SETFAST PREMIUM ALKYD ZONE MARKING PAINT A300 WHITE OR A303 YELLOW USING EITHER AIRLESS OR CONVENTIONAL LINE STRIPING EQUIPMENT. USE THE FOLLOWING SETTINGS AS A GUIDE-ACTUAL SETTINGS DEPEND ON ATMOSPHERIC CONDITIONS AT THE TIME OF APPLICATION:
- | AIRLESS | CONVENTIONAL |
|--|--|
| • PRESSURE: 1800-2700 PSI | • GUN: BLINKS 21 (BLEEDER) OR EQUIVALENT |
| • HOSE: 1/2" ID | • FLUID NOZZLE: #8 |
| • TIP: 0.015"-0.017" | • AIR NOZZLE: INTERNAL MIX #709 |
| • FILTER: 60 MESH | • ATOMIZATION PRESSURE: 45-80 PSI |
| • REDUCTION: ONLY IF NECESSARY, UP TO 1PT/GAL VMSP NAPHTH R1K3 | • FLUID PRESSURE: 40-70 PSI |
| | • REDUCTION: ONLY IF NECESSARY, UP TO 1PT/GAL VMSP NAPHTH R1K3 |
- SHERWIN WILLIAMS H8C SHARK GRIP SLIP RESISTANT ADDITIVE TO BE MEASURED AND ADDED TO ALL PAINT PER MANUFACTURER'S WRITTEN SPECIFICATIONS. MIX THOROUGHLY PER MANUFACTURER'S RECOMMENDATIONS SO THAT NO CLUMPING IS APPARENT AND UNTIL EVEN DISTRIBUTION IS ACHIEVED. MAINTAIN EVEN DISTRIBUTION OF ADDITIVE IN PAINT THROUGHOUT THE APPLICATION PROCESS. MIX PAINT THOROUGHLY BY BOXING, STIRRING, OR POWER AGITATION BEFORE USE. APPLY AT 15 MILS WET TO ACHIEVE A SPREAD RATE OF 400-500 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON. APPLIED AT THIS RATE AT 70 DEGREES F AND 90% RELATIVE HUMIDITY, PAINT WILL DRY WITH NO TRAFFIC PICKUP AFTER 20 MINUTES.
- GENERAL CONTRACTOR TO RE-STRIP THE LOT 45 DAYS AFTER OPENING.



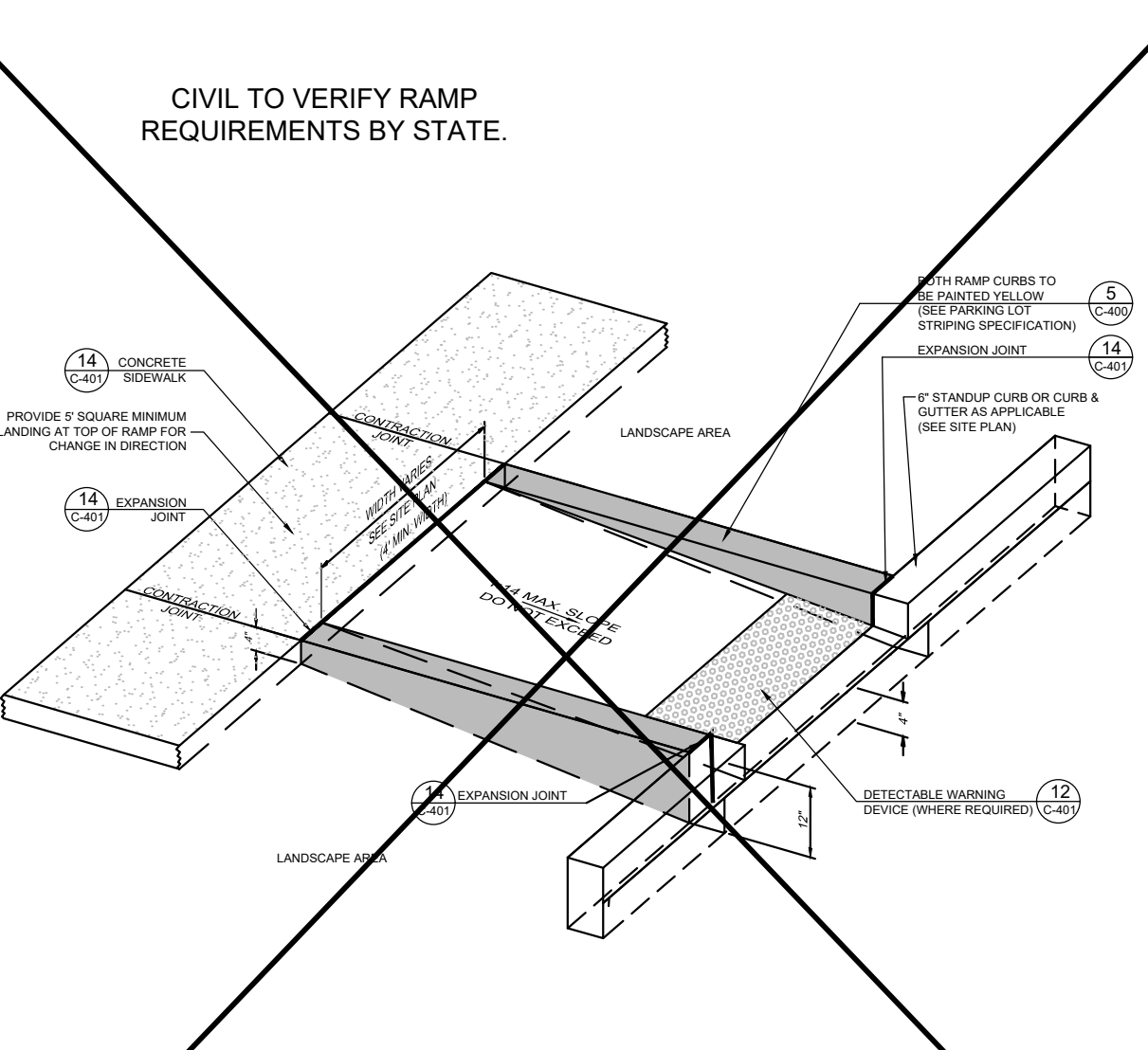
7 BOLLARD MOUNTED SIGN
C-400
NOT TO SCALE



8 CURB RAMP w/ SHORT FLARED SIDES
C-400
NOT TO SCALE



9 CURB RAMP w/ FLARED SIDES
C-400
NOT TO SCALE



10 RETURNED CURB RAMP
C-400
NOT TO SCALE



Chick-fil-A

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5200 Buffington Road
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PEA GROUP

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www.peagroup.com



NOT FOR CONSTRUCTION

CHICK-FIL-A
FORT GRATIOT
4783 24TH AVENUE
FORT GRATIOT TWP.,
MICHIGAN, 48059

FSU# 05694
BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
RELEASE: 23.05

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 23-0886
PRINTED FOR PCR
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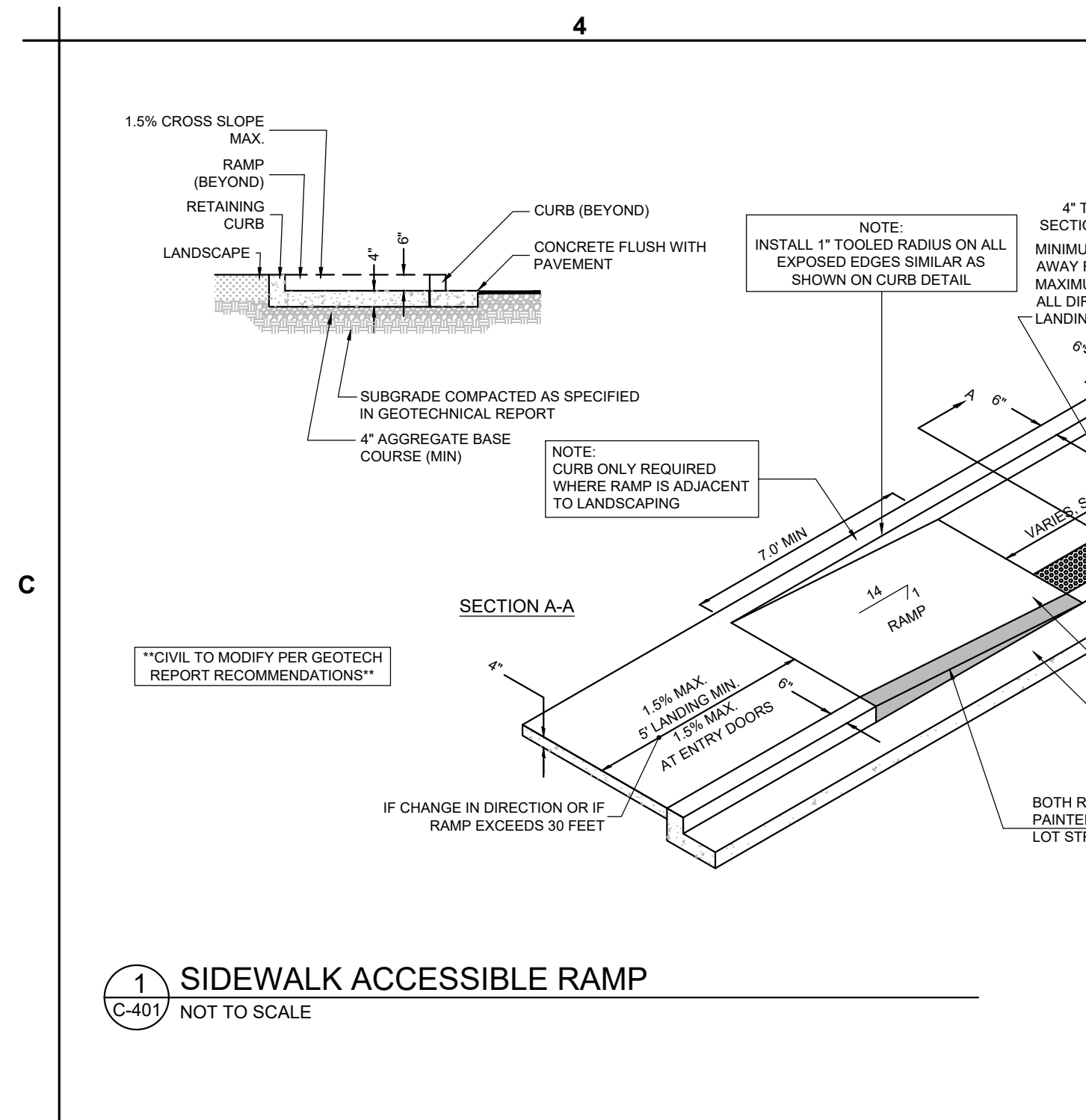
CHICK-FIL-A STANDARD CONSTRUCTION DETAILS

SHEET NUMBER

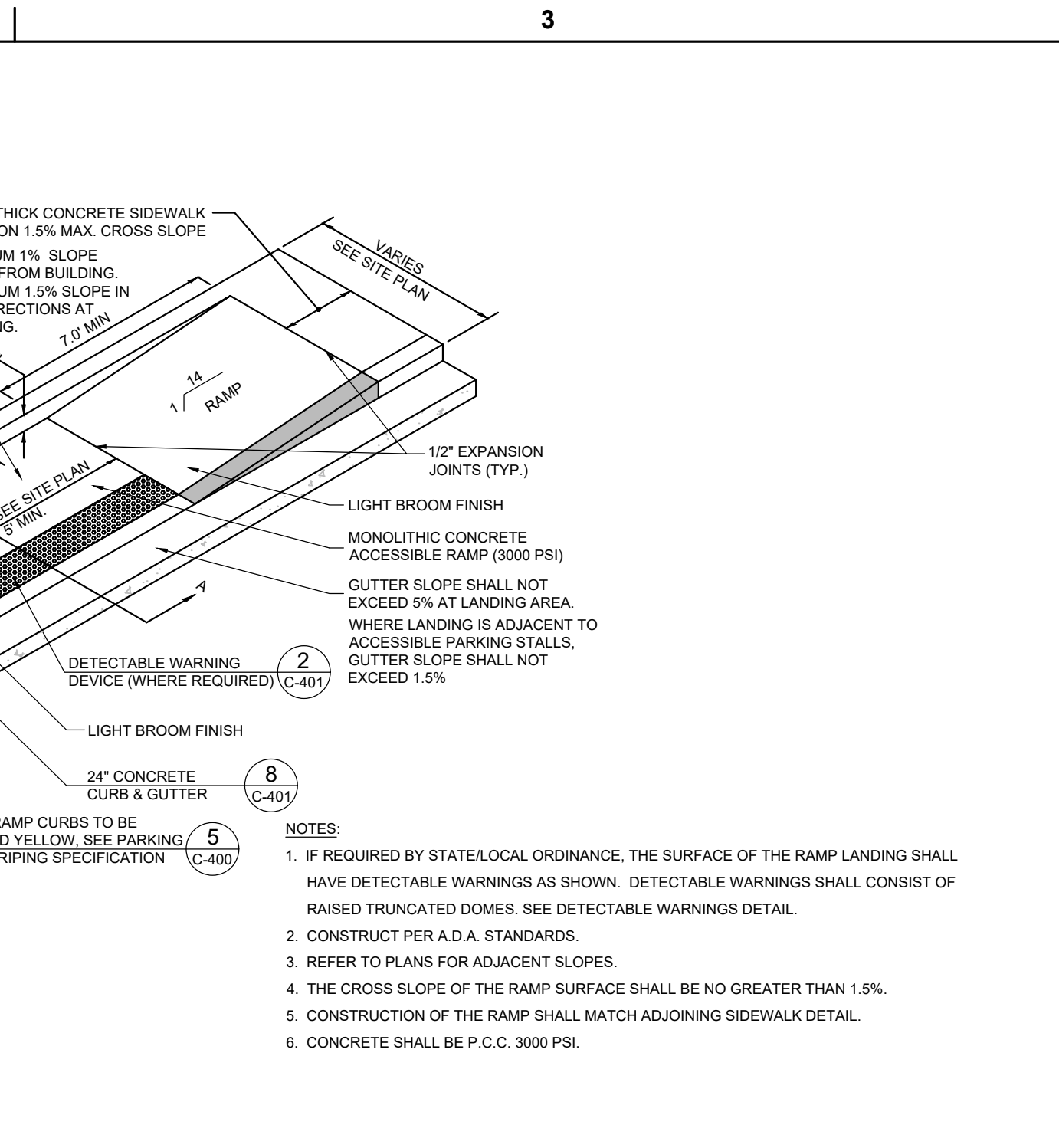
C-400

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3/15/2021
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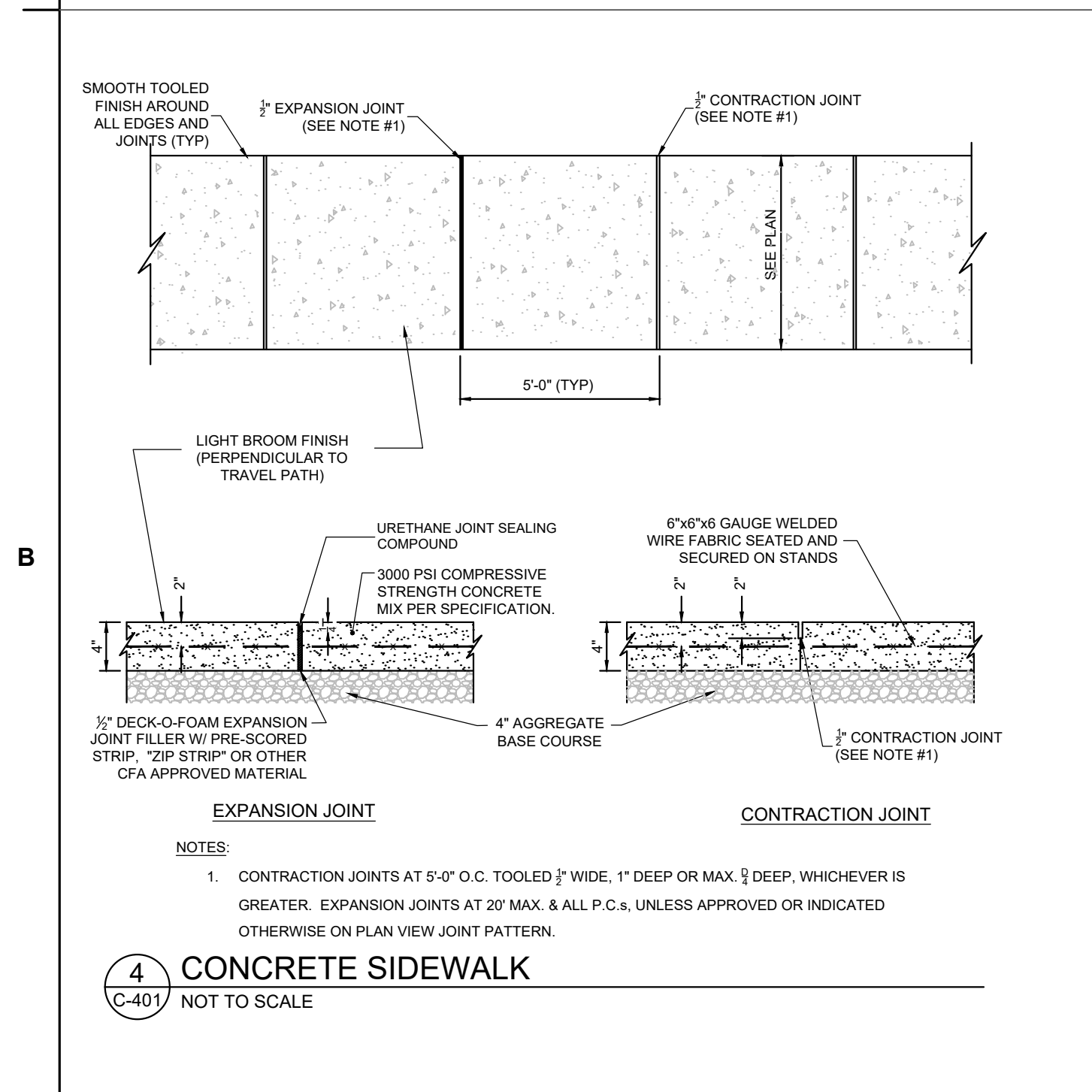
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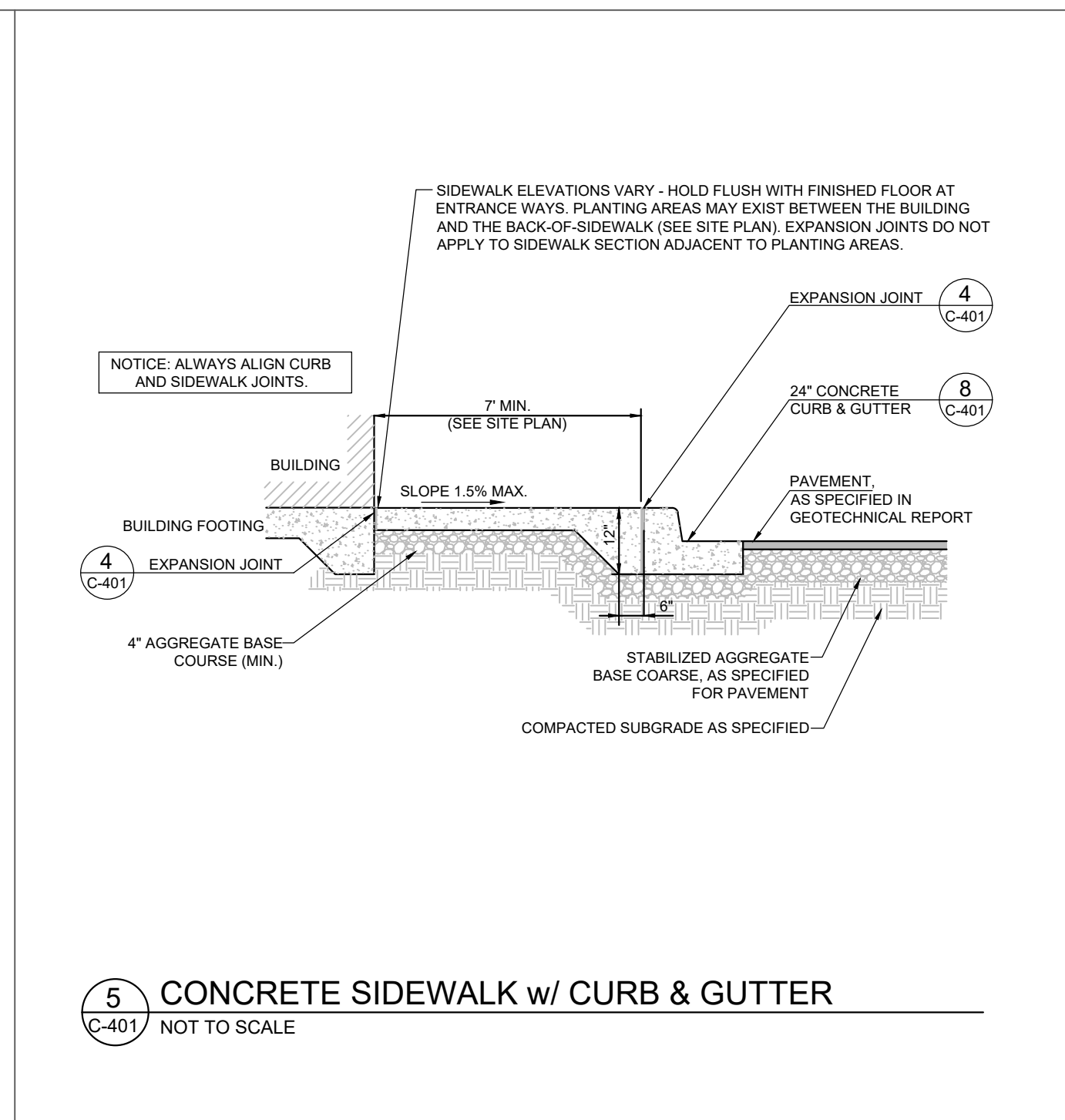
1 SIDEWALK ACCESSIBLE RAMP
C-401 NOT TO SCALE



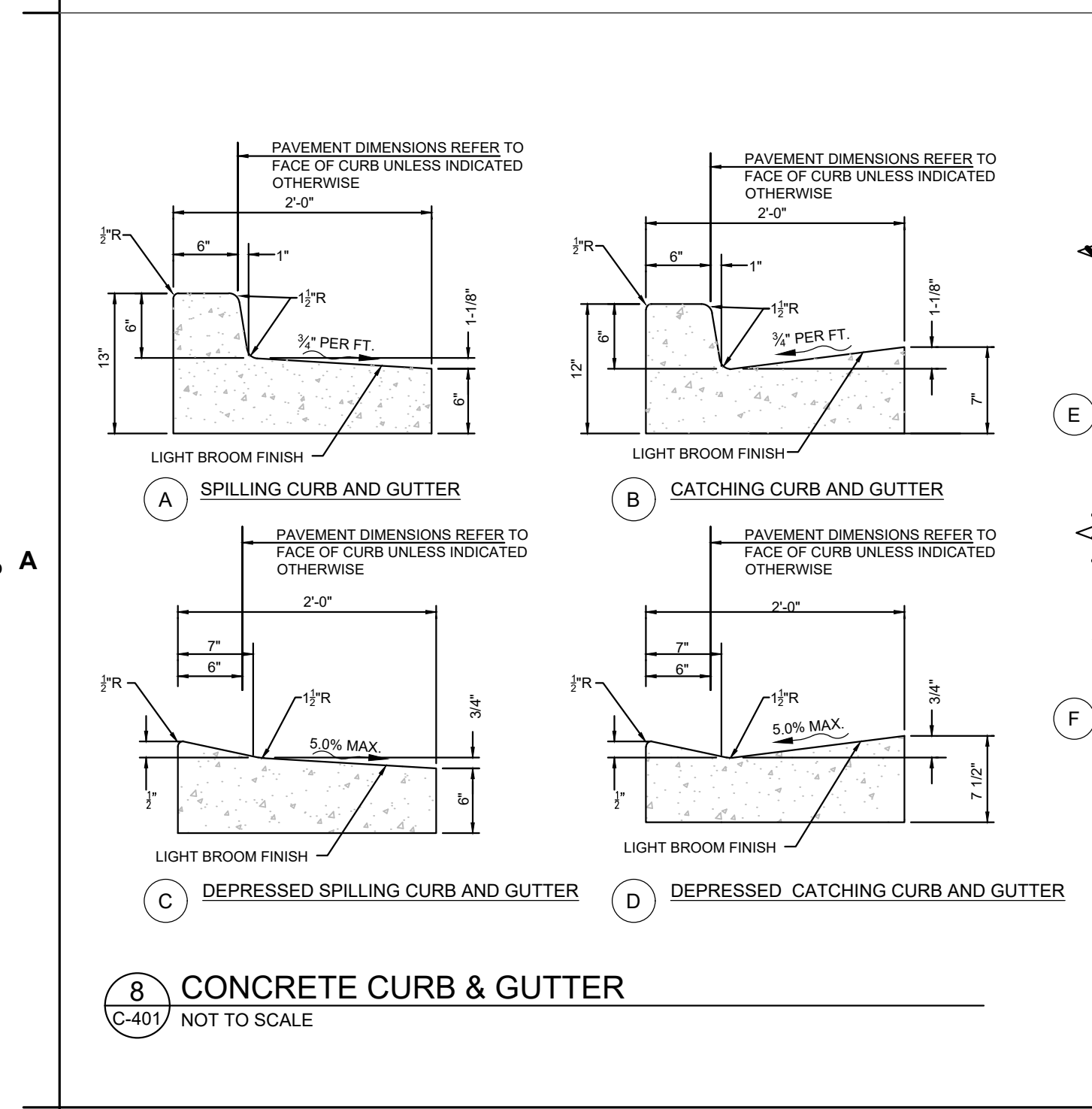
2 DETECTABLE WARNING DEVICE
C-401 NOT TO SCALE



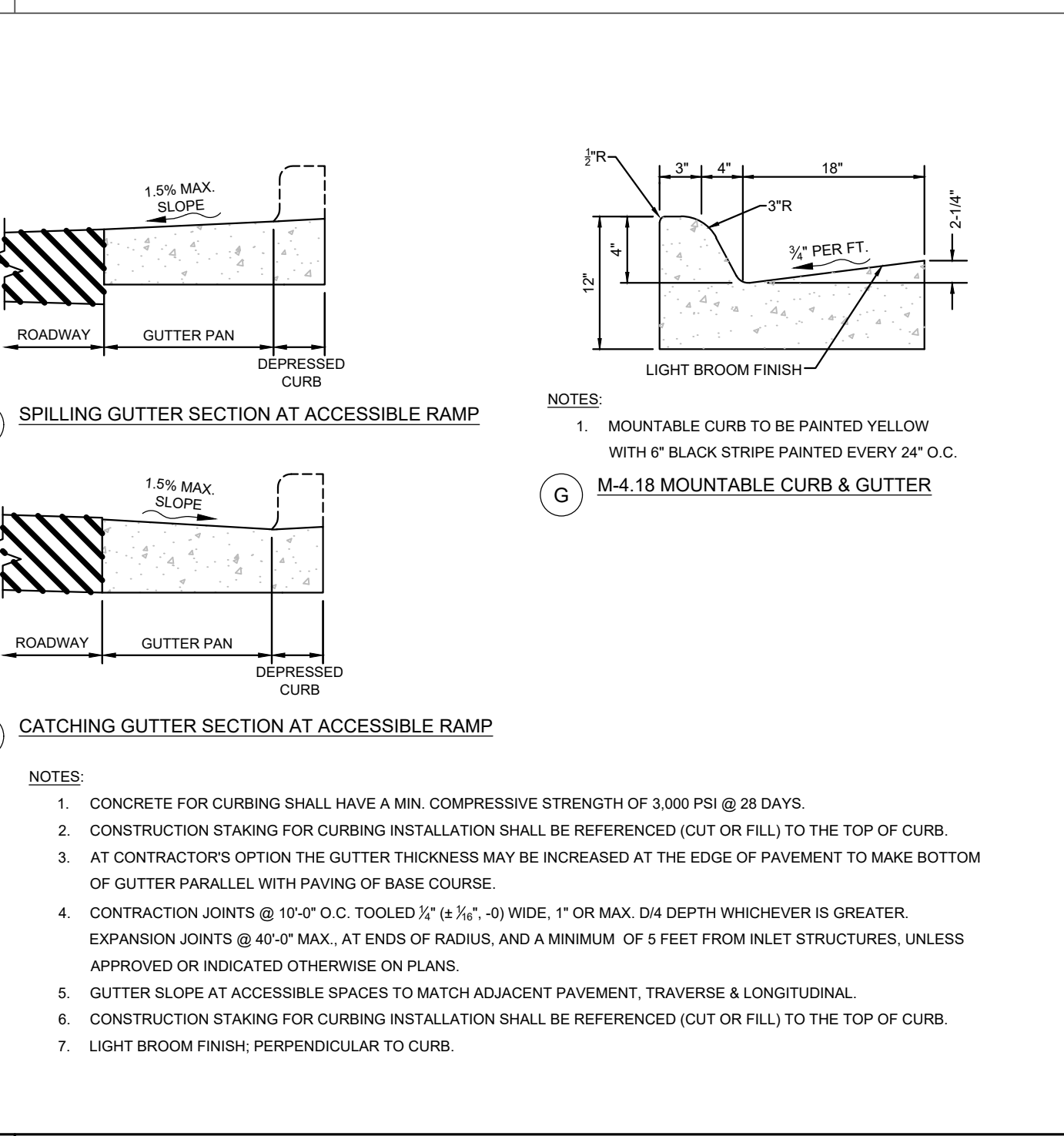
4 CONCRETE SIDEWALK
C-401 NOT TO SCALE



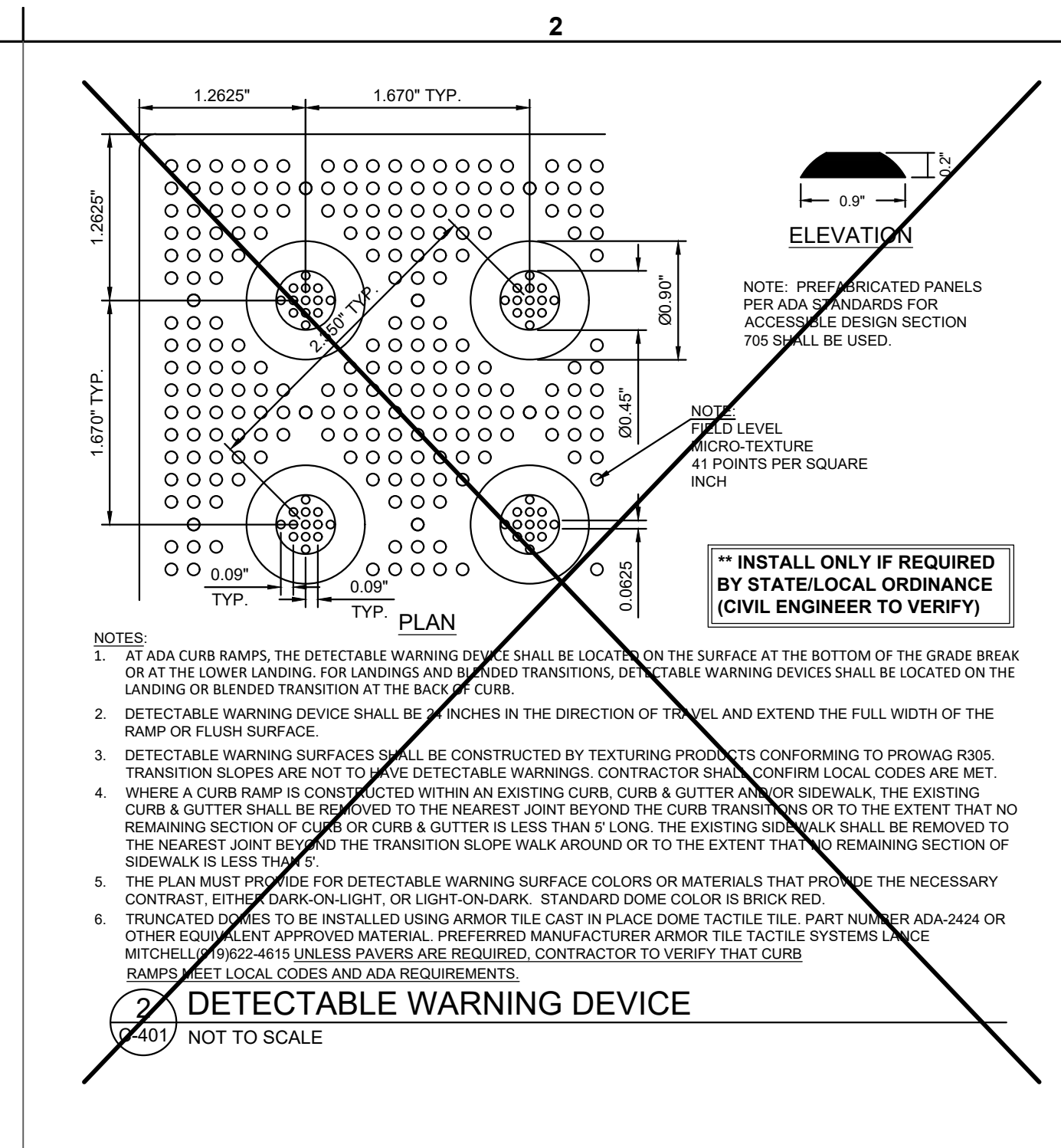
5 CONCRETE SIDEWALK w/ CURB & GUTTER
C-401 NOT TO SCALE



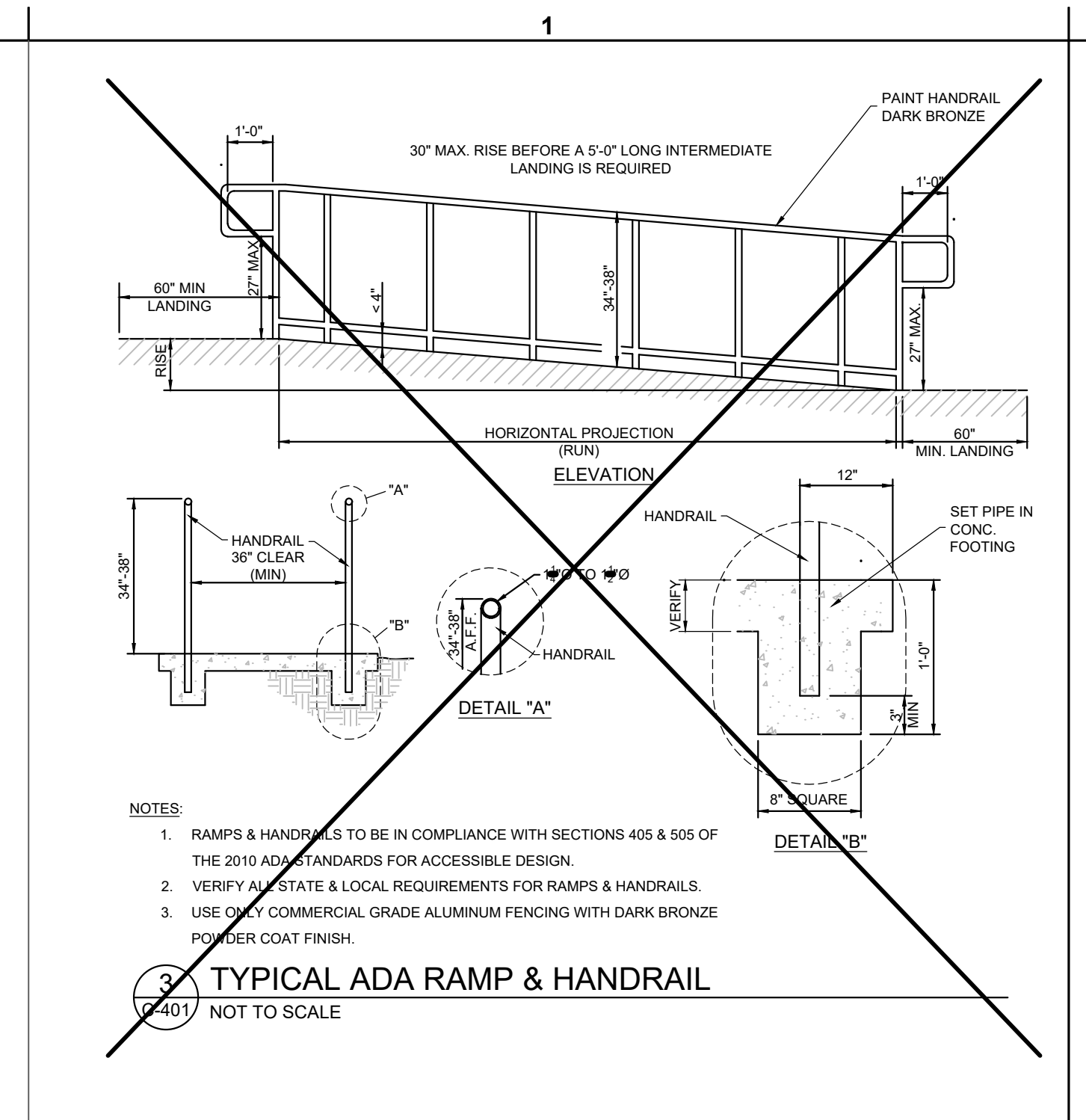
8 CONCRETE CURB & GUTTER
C-401 NOT TO SCALE



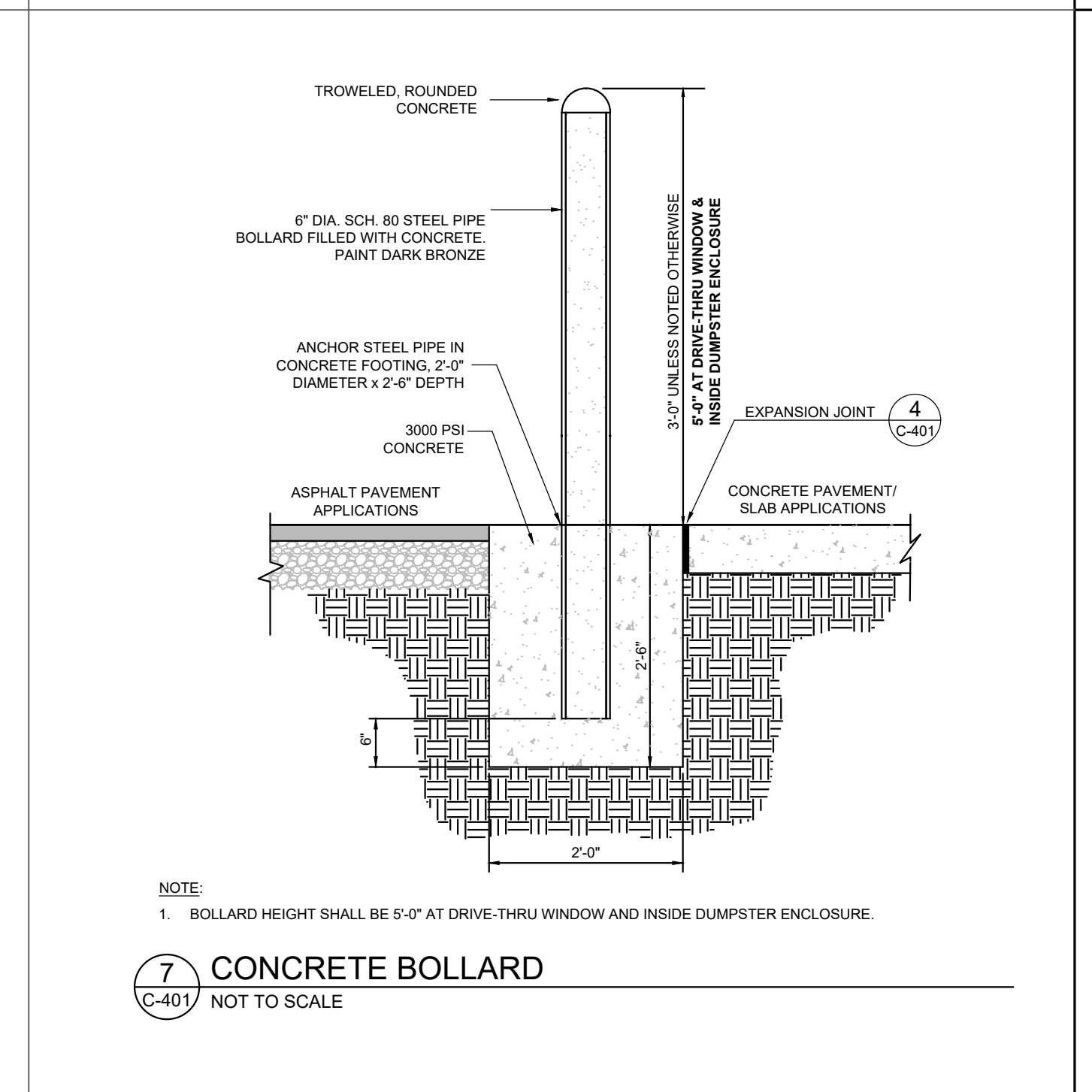
6 M-4.18 MOUNTABLE CURB & GUTTER
C-401 NOT TO SCALE



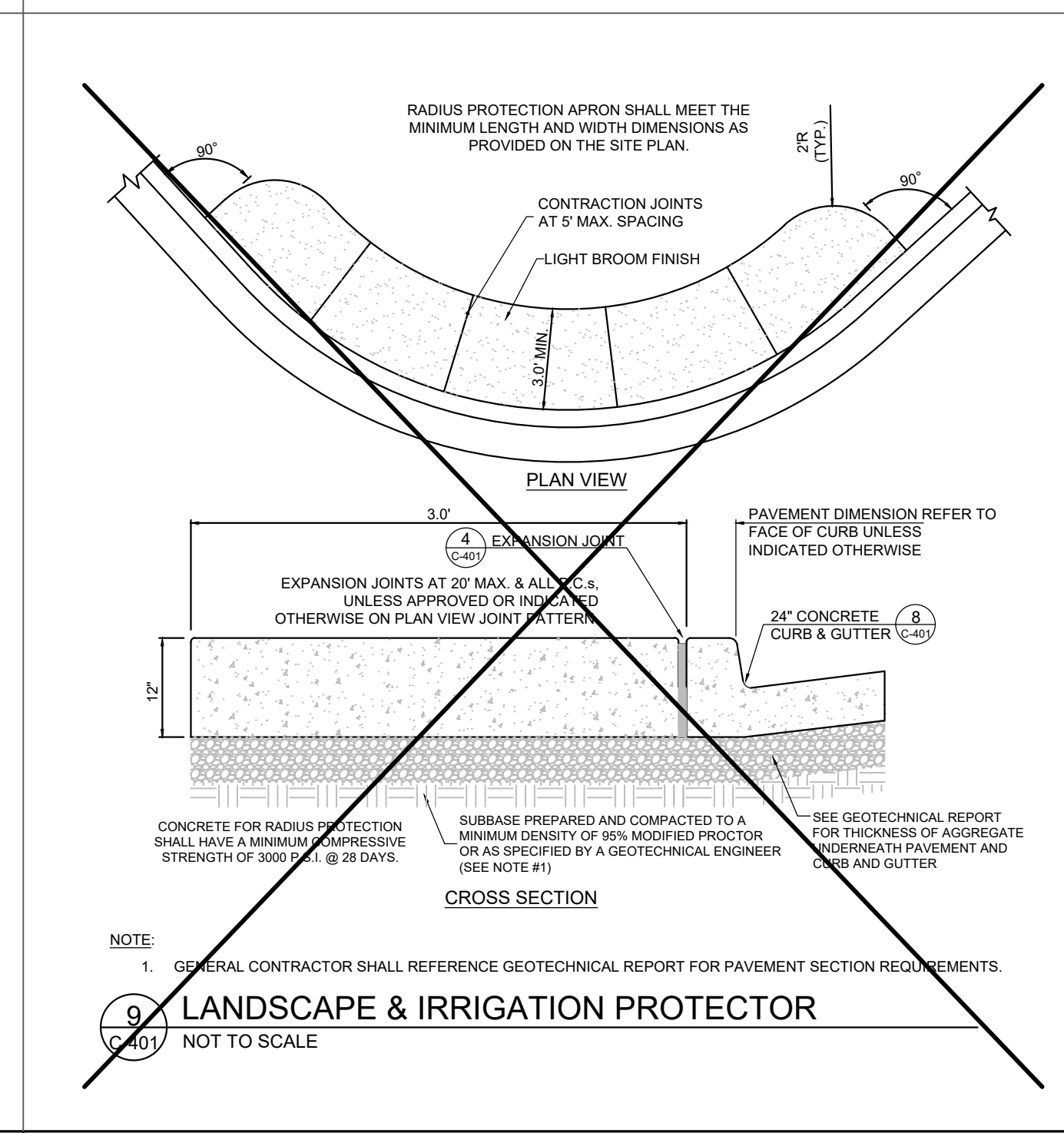
9 LANDSCAPE & IRRIGATION PROTECTOR
C-401 NOT TO SCALE



3 TYPICAL ADA RAMP & HANDRAIL
C-401 NOT TO SCALE



7 CONCRETE BOLLARD
C-401 NOT TO SCALE

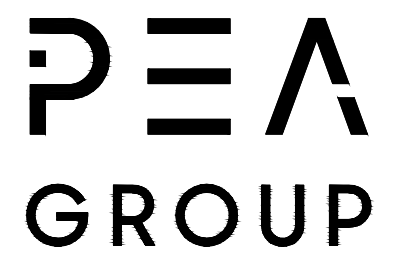


7 CONCRETE BOLLARD
C-401 NOT TO SCALE



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NOT FOR CONSTRUCTION

CHICK-FIL-A
FORT GRATIOT
4783 24TH AVENUE
FORT GRATIOT TWP.,
MICHIGAN, 48059

FSU# 05694
BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
RELEASE: 23.05

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

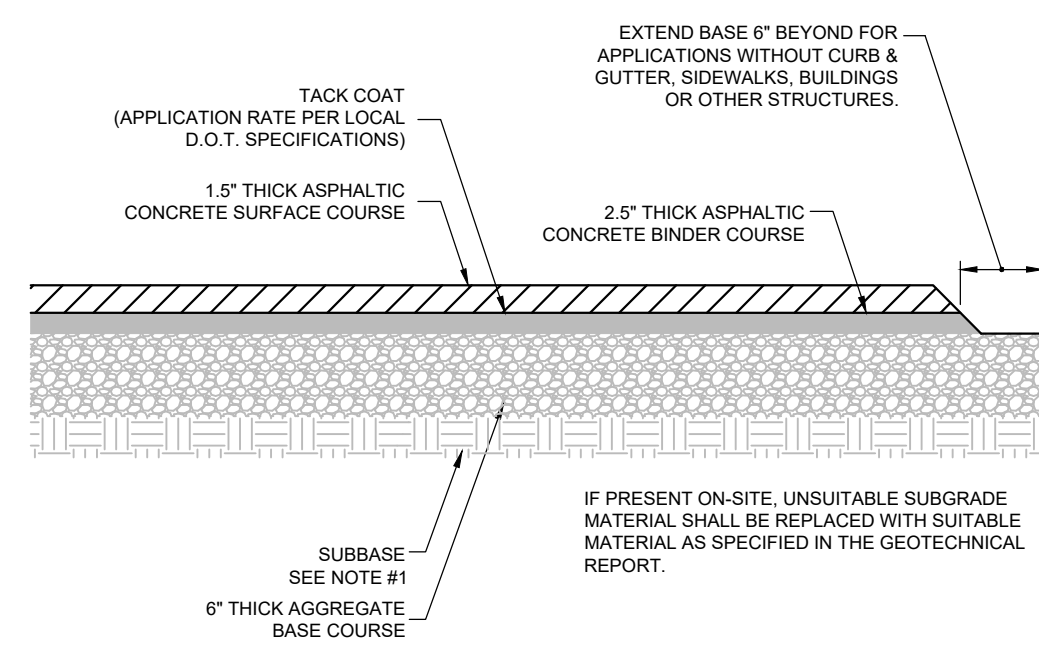
CONSULTANT PROJECT #	23-0886
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DATE	NOVEMBER 2, 2023
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CHICK-FIL-A STANDARD CONSTRUCTION DETAILS

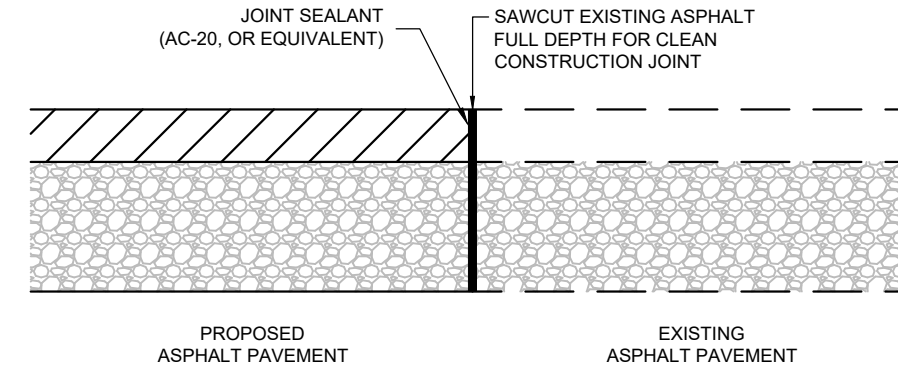
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C-401

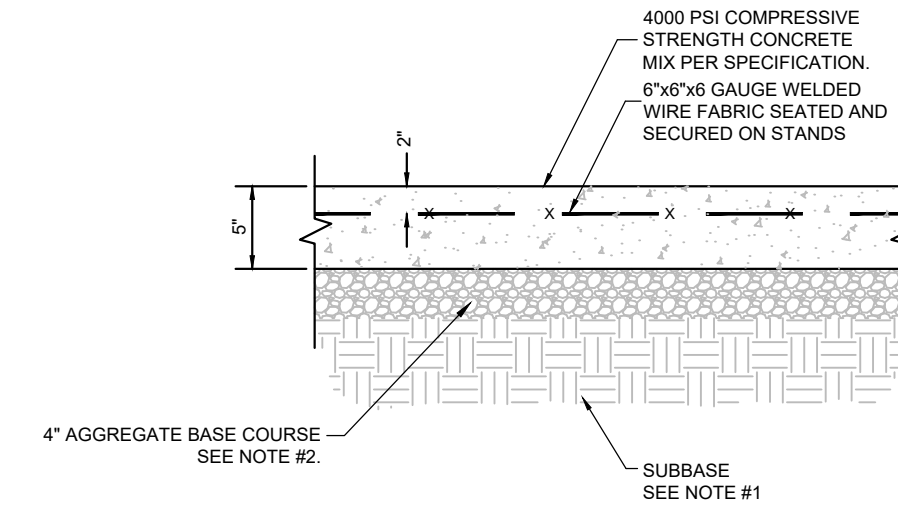


- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE SITE SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE AND SUBGRADE SECTION REQUIREMENTS
 - MINIMUM PAVEMENT THICKNESS SHOULD BE 1\"/>

1 TYPICAL HMAC PAVEMENT SECTION
C-402 NOT TO SCALE

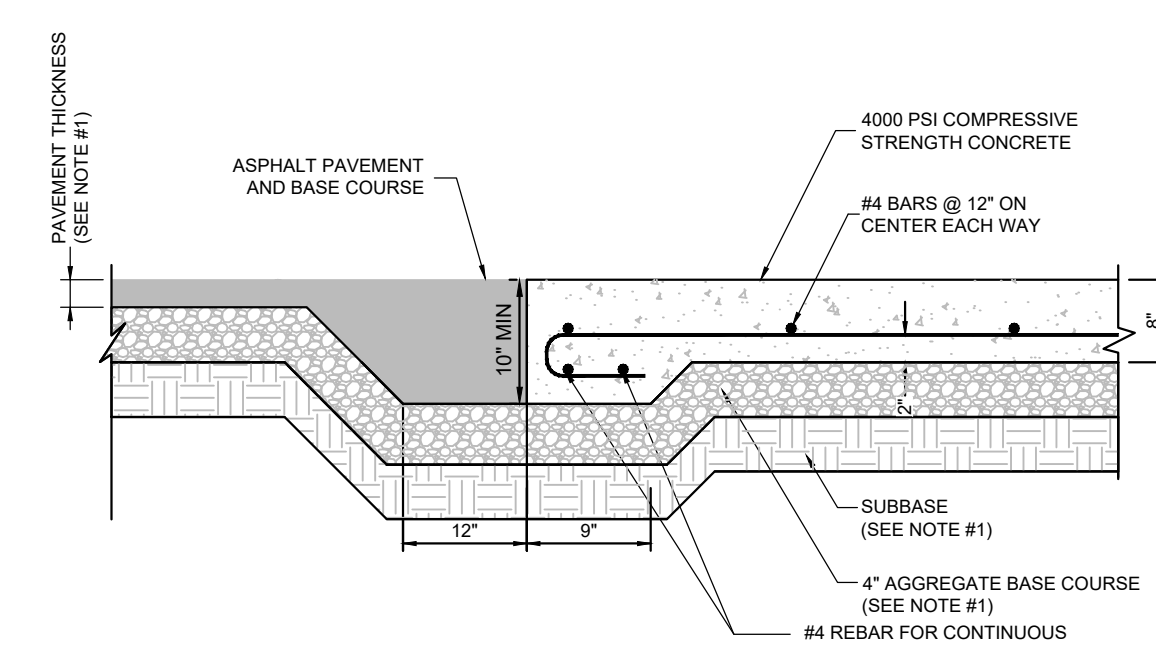


2 BUTT JOINT
C-402 NOT TO SCALE



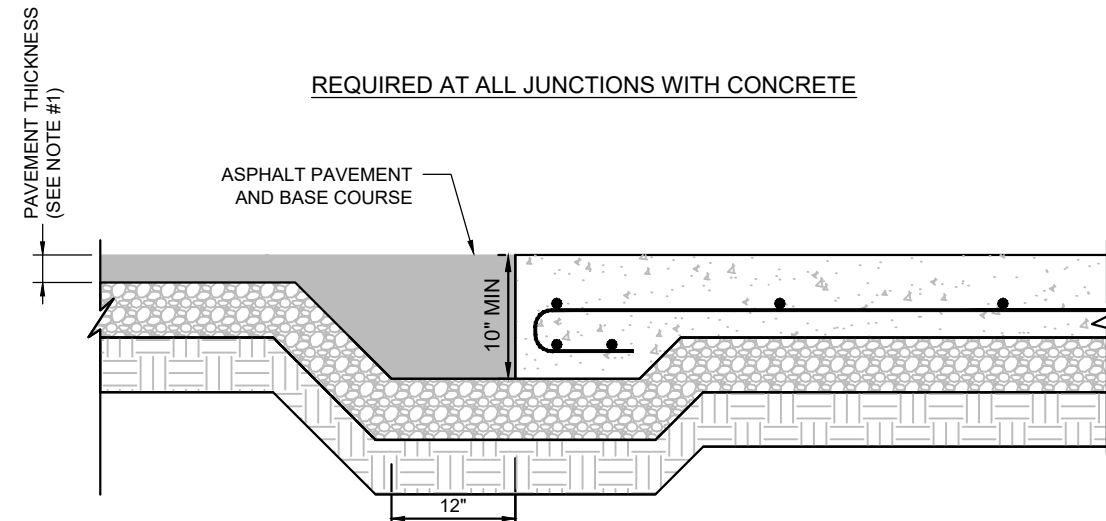
- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
 - MINIMUM PAVEMENT THICKNESS SHALL BE 5\"/>

3 CONCRETE PAVEMENT DRIVE-THRU LANE
C-402 NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

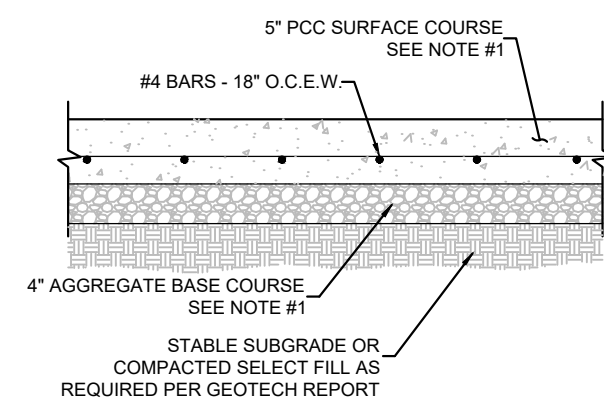
4 CONCRETE APRON AT TRASH ENCLOSURE
C-402 NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

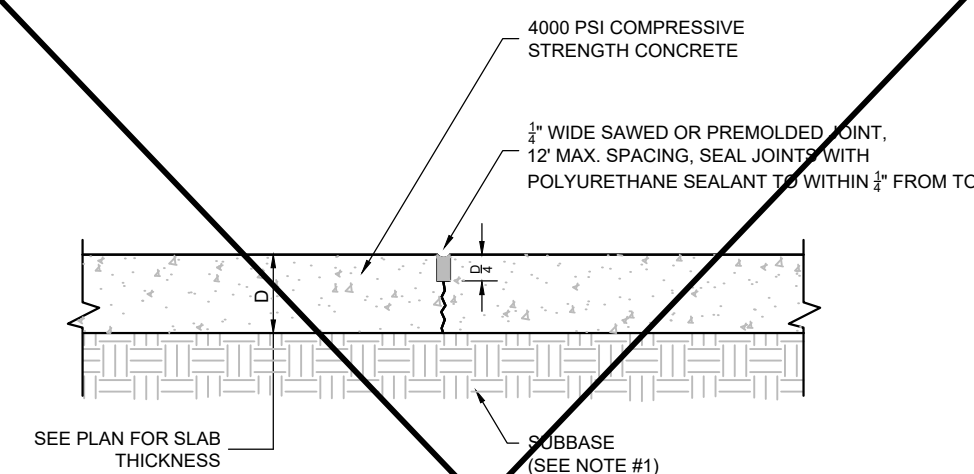
5 PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES)
C-402 NOT TO SCALE

- NOTES:
- DESIGN PER GEOTECH REPORT PREPARED BY _____, DATED _____
 - PAVEMENTS & SUBGRADES INCLUDING MATERIALS & COMPACTION SHALL MEET STANDARDS & SPECIFICATIONS OF THE GOVERNING DEPARTMENT OF TRANSPORTATION.
 - JOINTING & SPACING SHALL BE PER CONCRETE JOINT DETAILS.
 - CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4,000 PSI @ 28 DAYS.



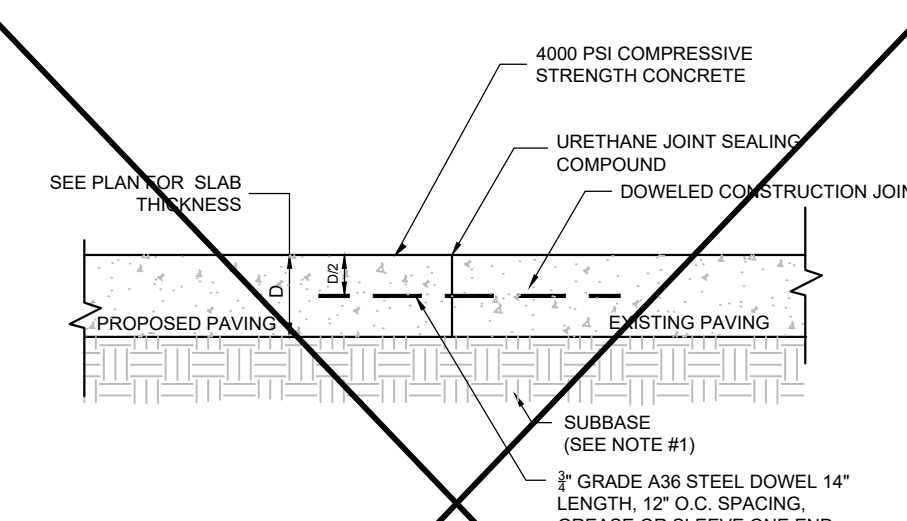
- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
 - MINIMUM PAVEMENT THICKNESS SHALL BE 5\"/>

6 CONCRETE PAVEMENT
C-402 NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

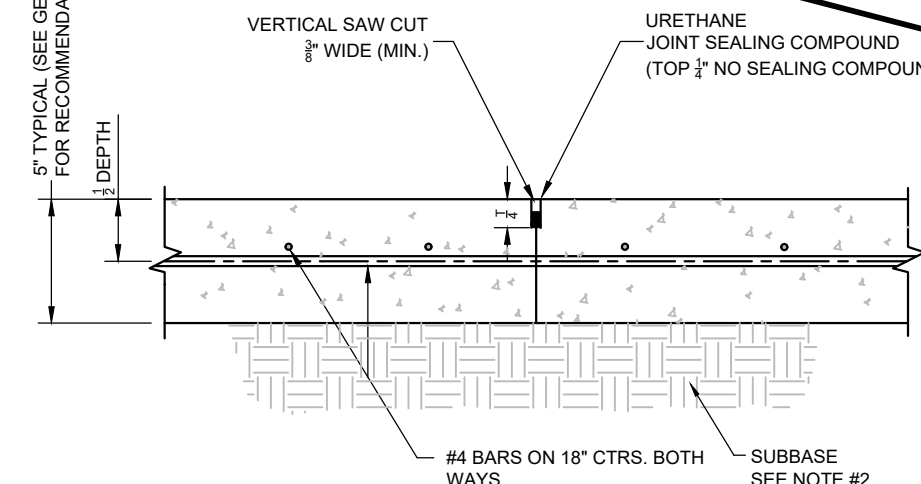
7 TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT
C-402 NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

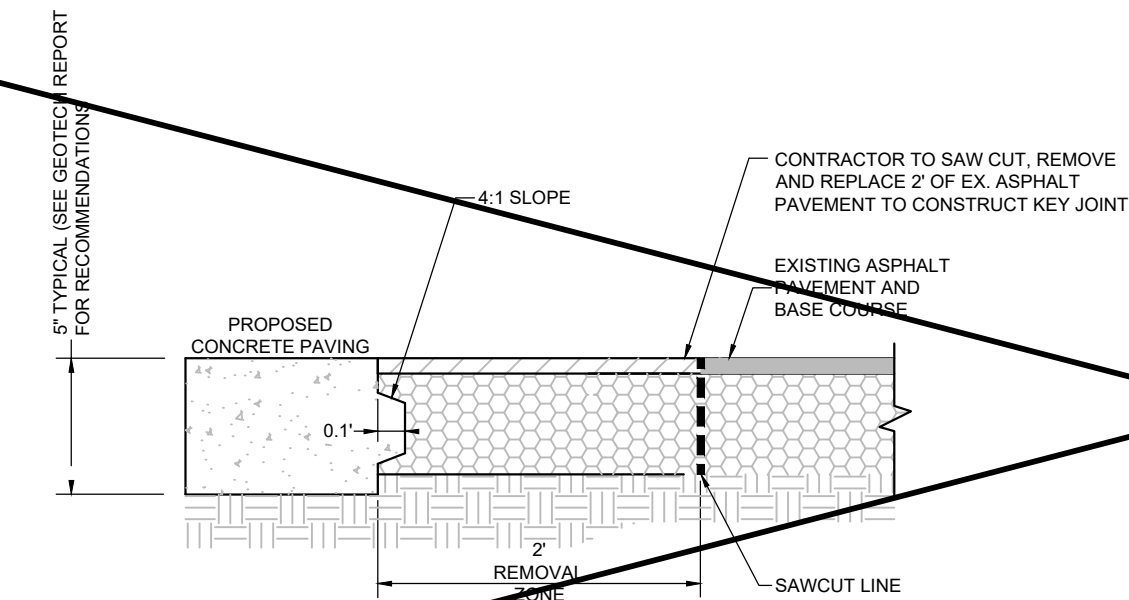
8 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT
C-402 NOT TO SCALE

THESE DETAILS APPLY TO CONCRETE PAVED LOTS



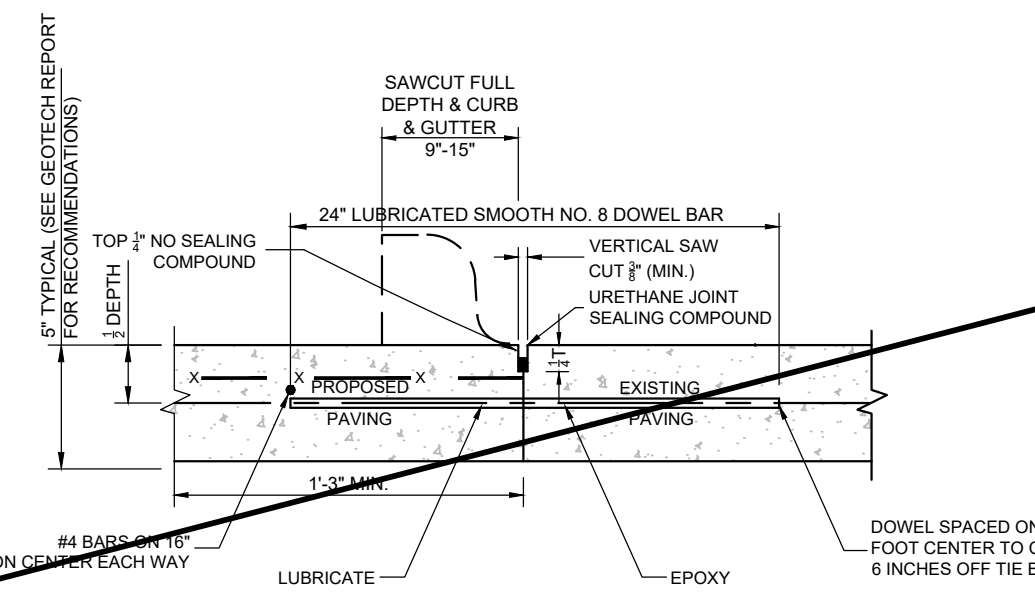
- NOTES:
- JOINT SPACING TO BE 12' x 12' WITH EVERY OTHER JOINT BEING AN EXPANSION JOINT.
 - GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

9 CONTRACTION JOINT
C-402 NOT TO SCALE



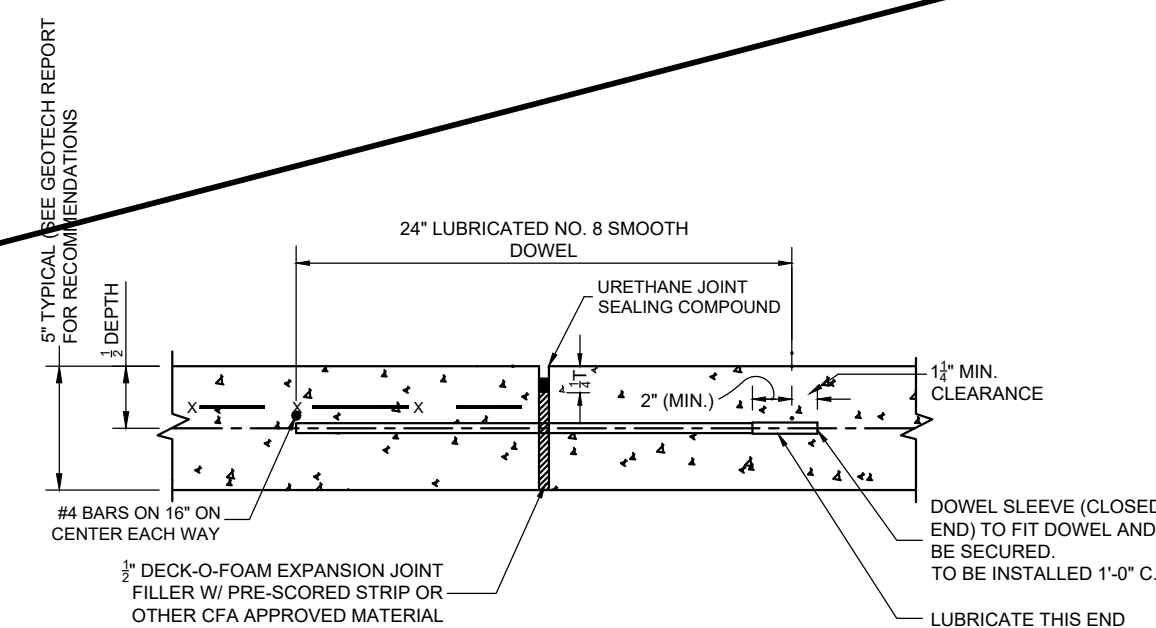
- NOTES:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

10 KEYED CONSTRUCTION JOINT
C-402 NOT TO SCALE



- NOTES:
- NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 - DOWEL BARS SHALL BE DRILLED & EPOXIED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL EQUIP.
 - PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.

11 LONGITUDINAL BUTT JOINT
C-402 NOT TO SCALE



- NOTES:
- NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 - DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL EQUIPMENT.
 - DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.
 - JOINT SPACING TO BE 24'x24' (EVERY OTHER JOINT).

12 EXPANSION JOINT
C-402 NOT TO SCALE



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NOT FOR CONSTRUCTION

CHICK-FIL-A
FORT GRATIOT
4783 24TH AVENUE
FORT GRATIOT TWP.,
MICHIGAN, 48059

FSU# 05694
BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
RELEASE: 23.05

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 23-0886
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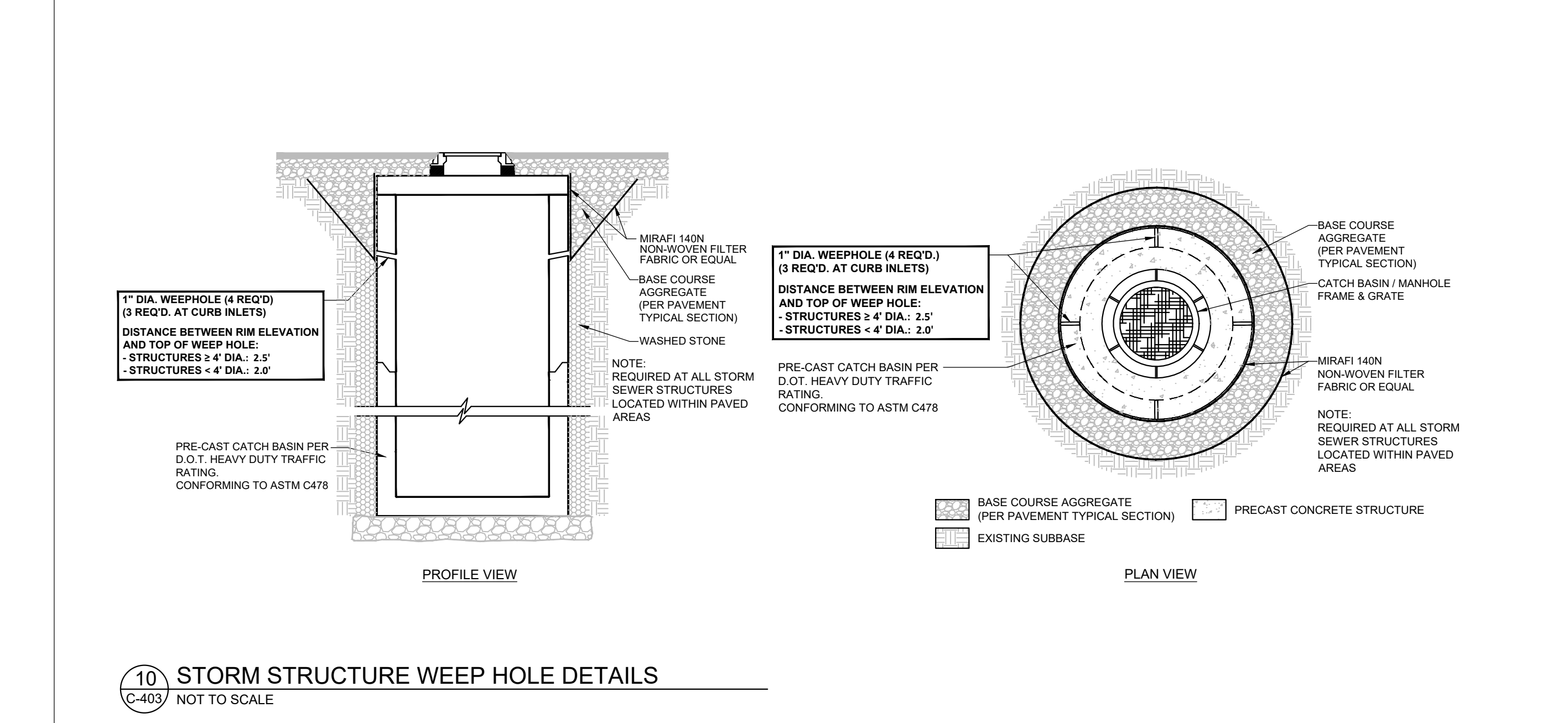
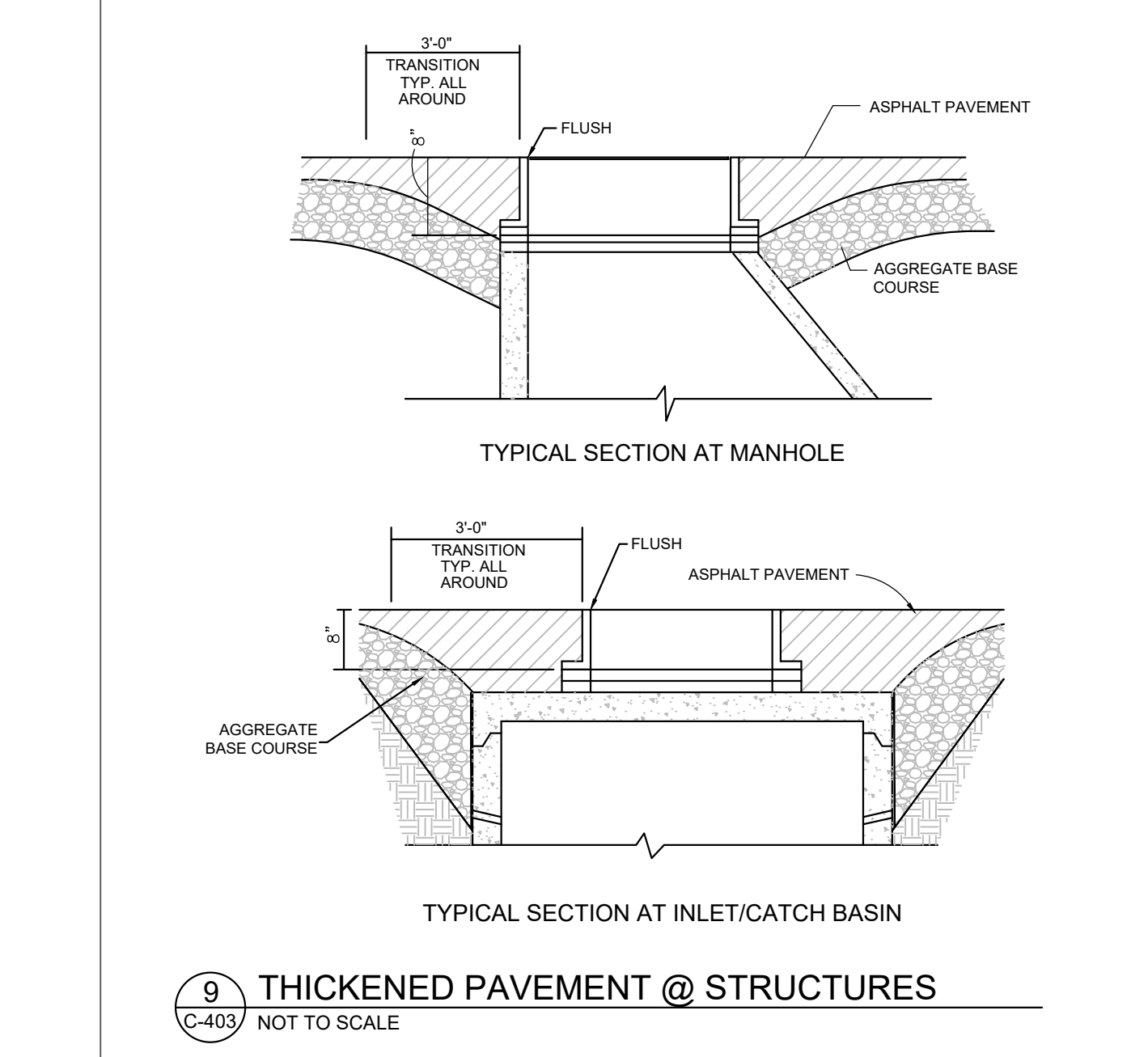
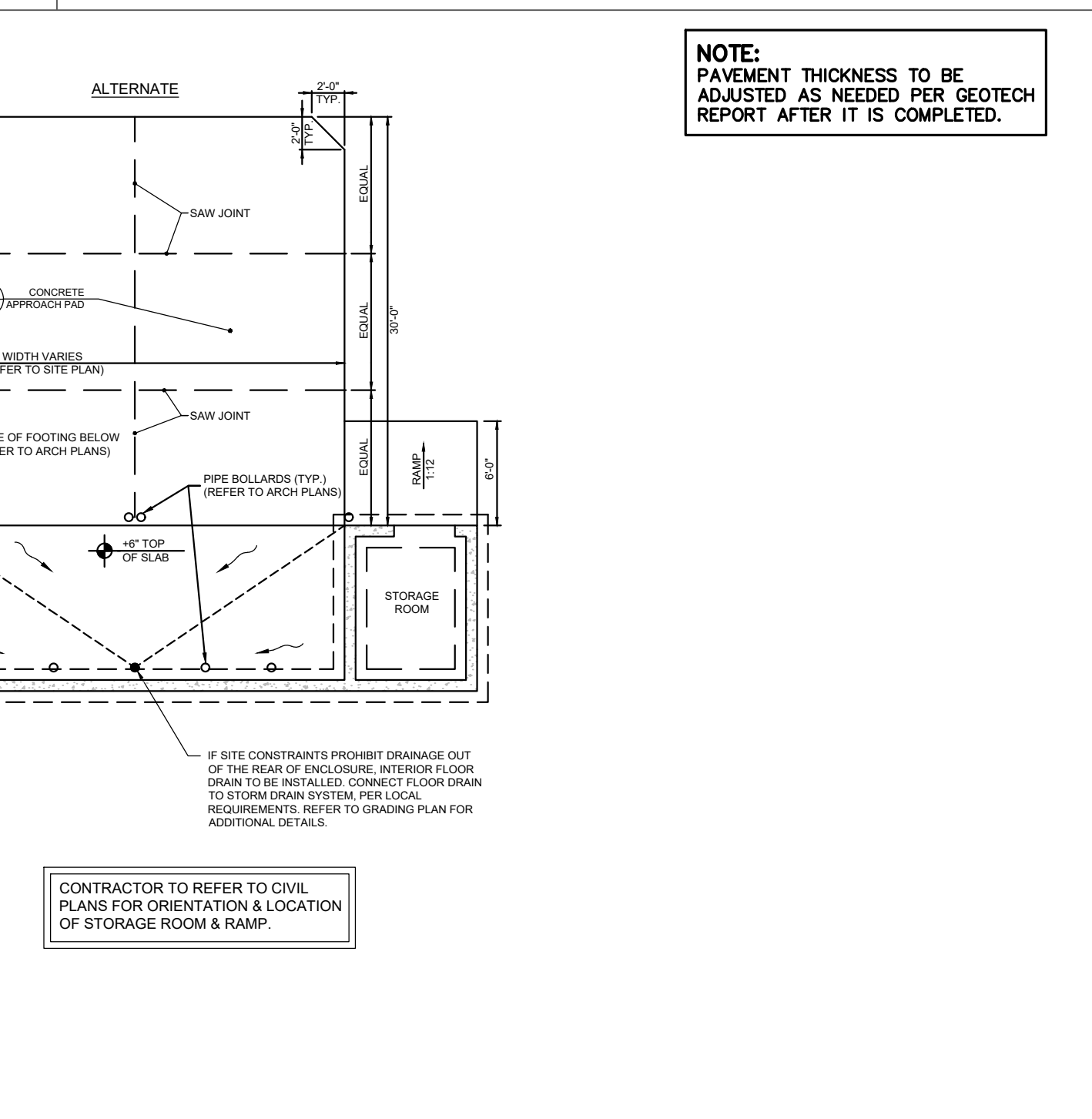
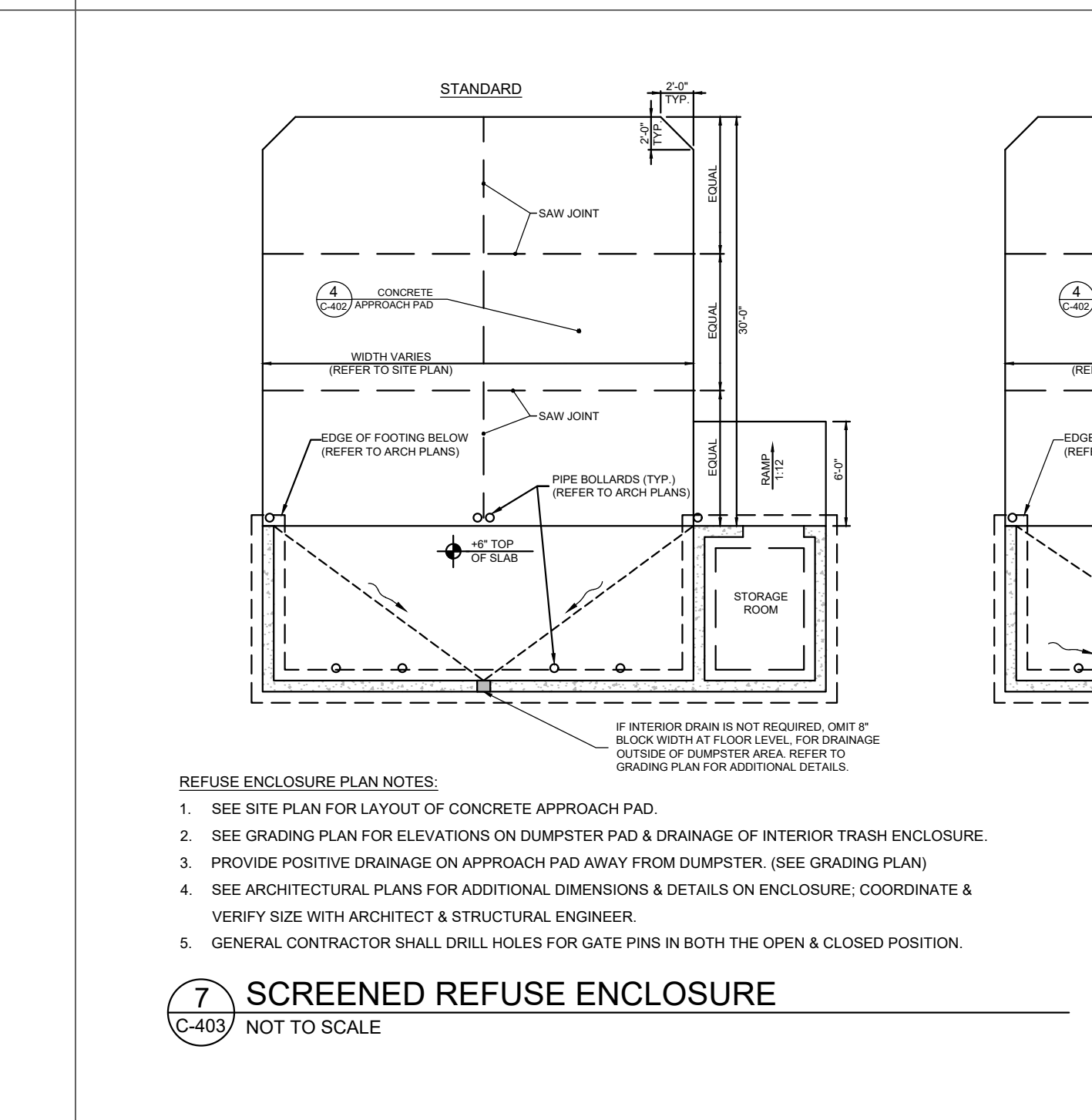
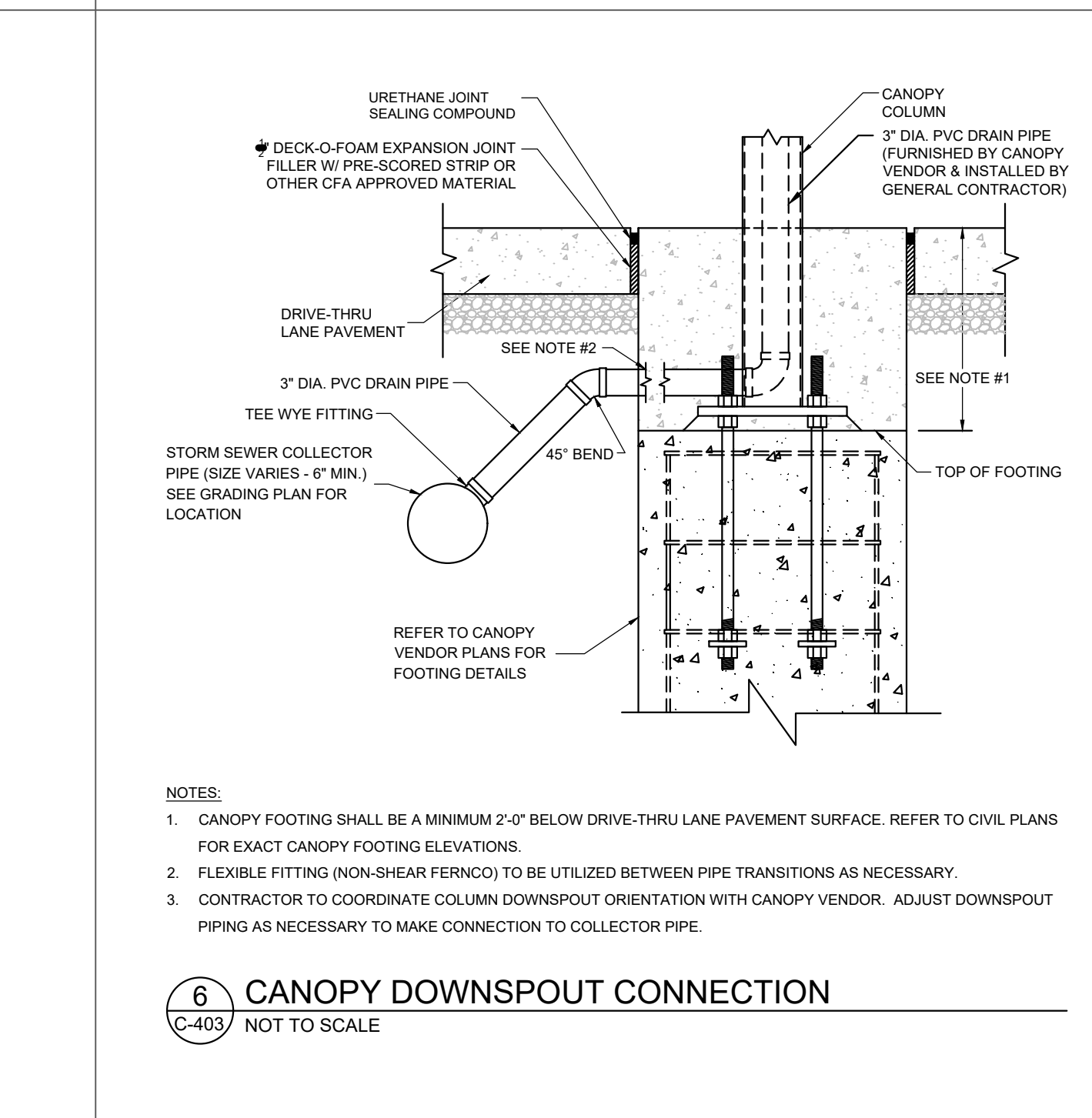
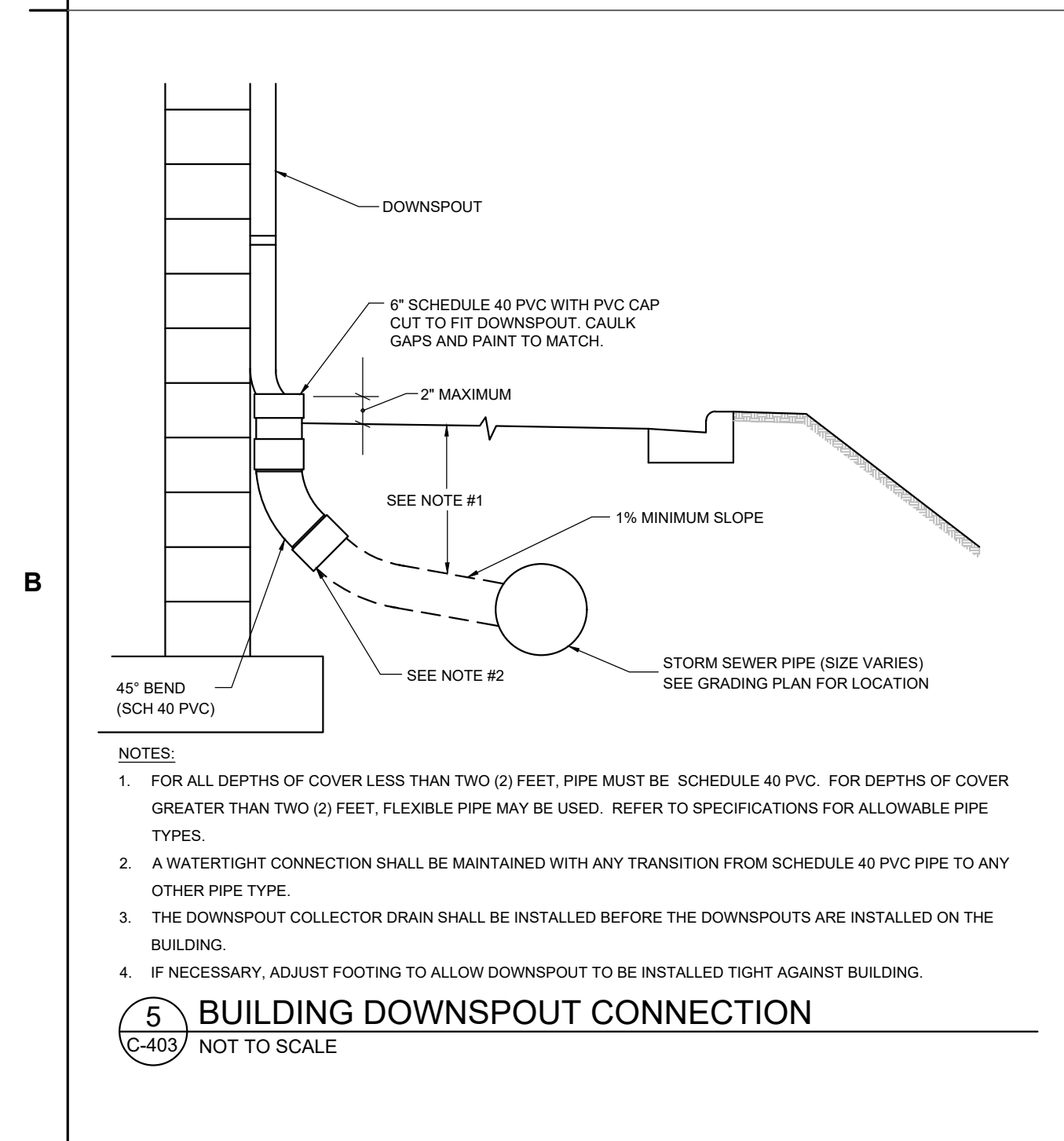
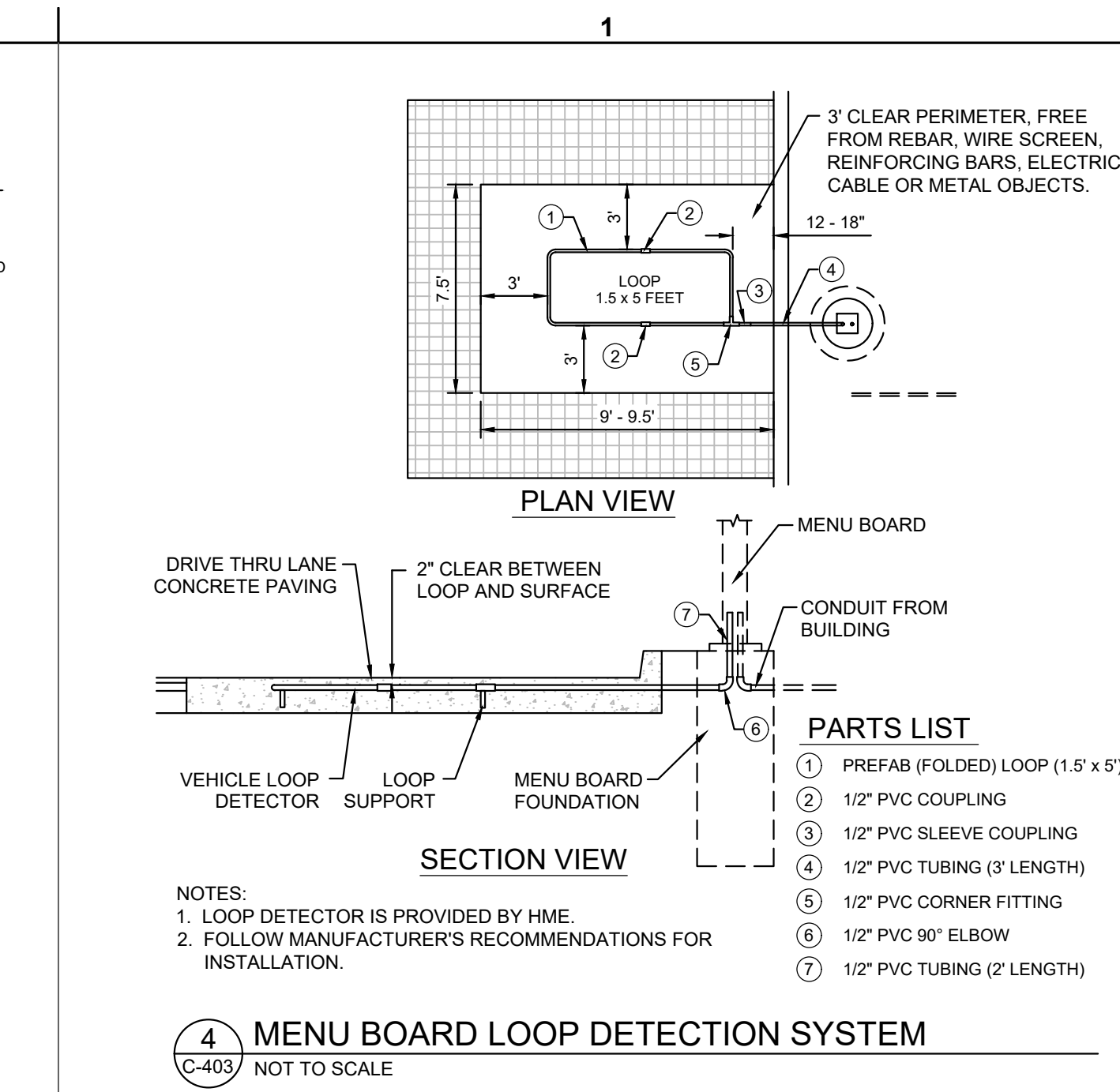
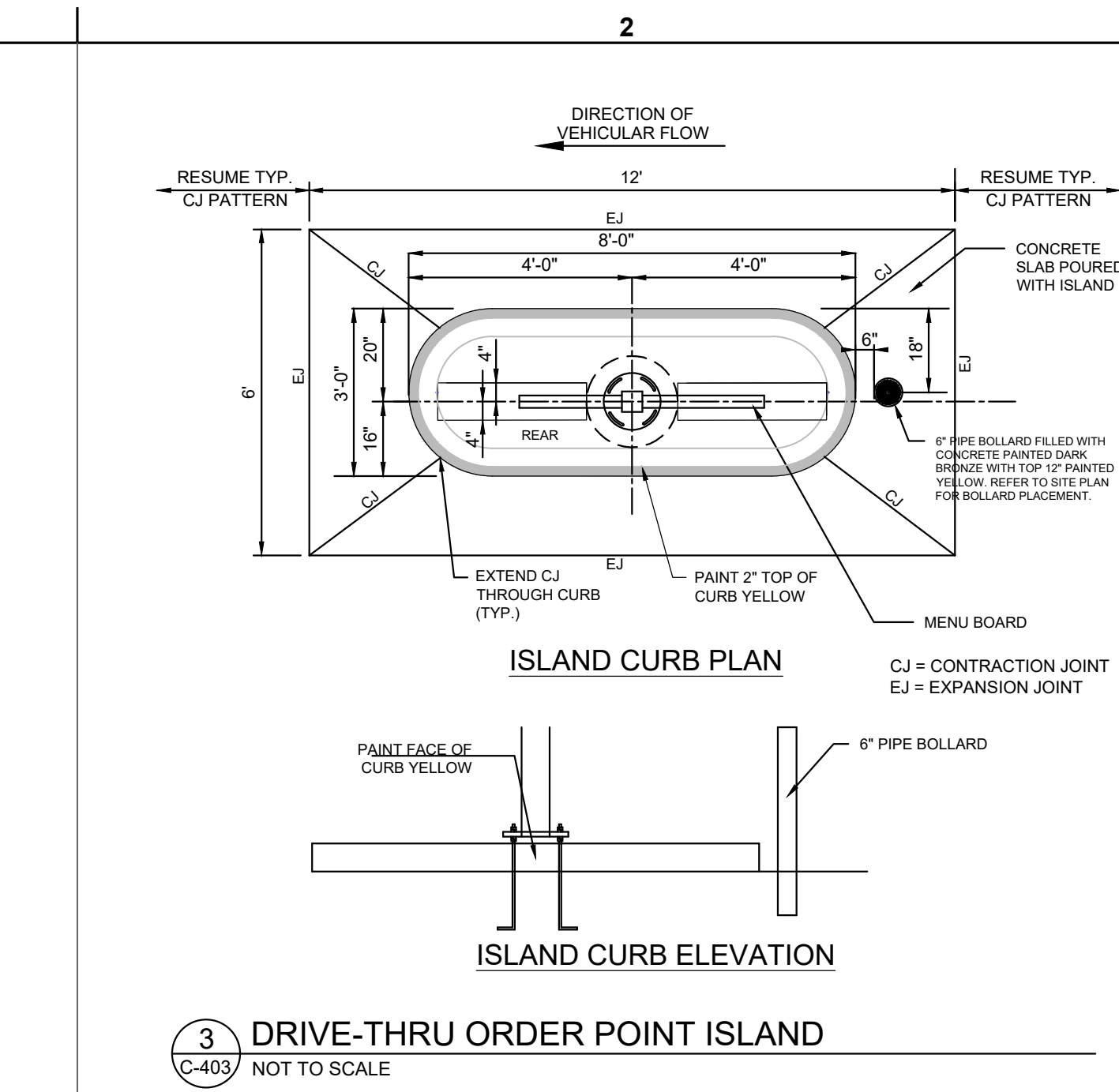
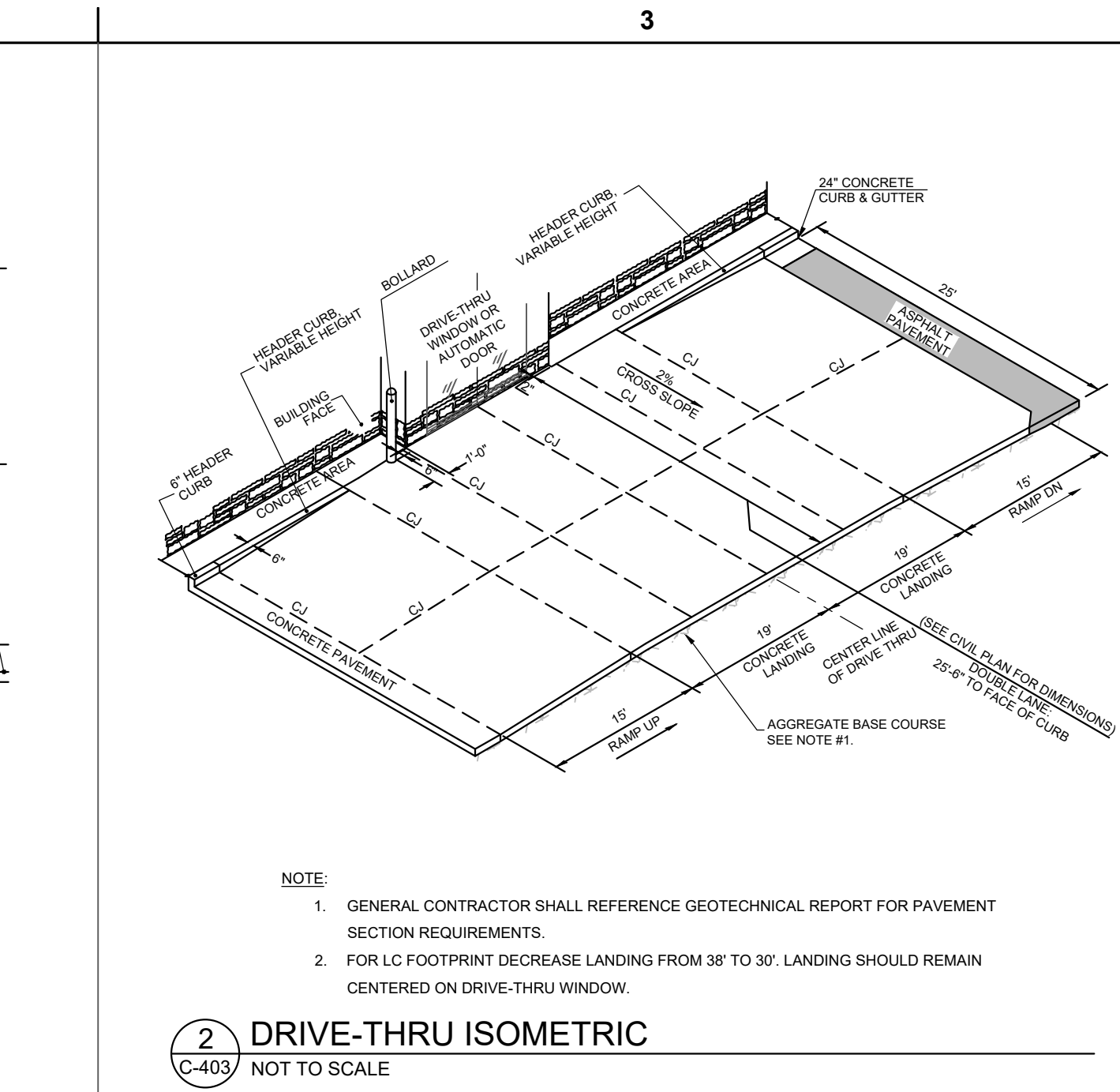
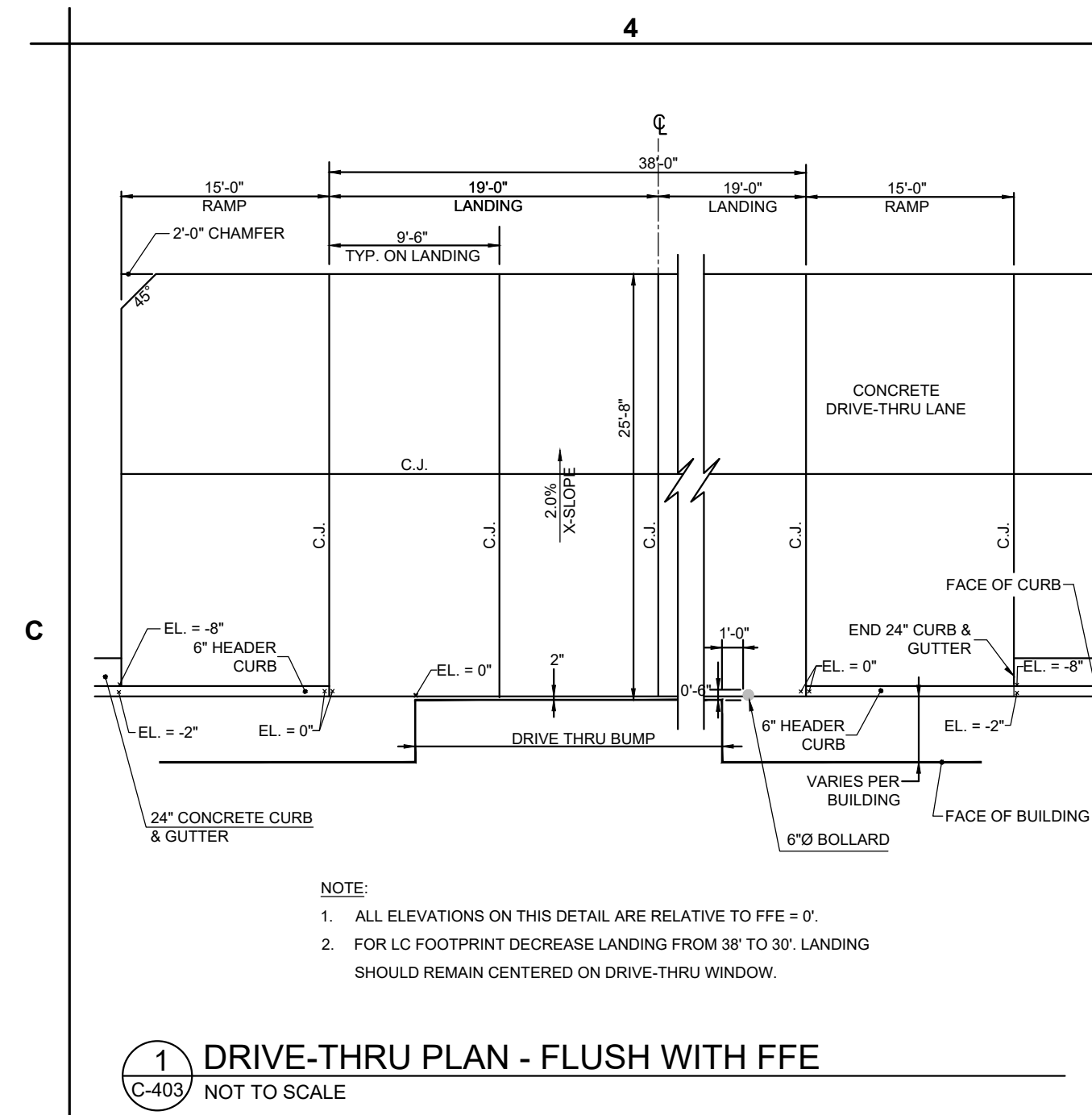
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SHEET
CHICK-FIL-A STANDARD
CONSTRUCTION DETAILS

SHEET NUMBER

C-402

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FSU# 05694
BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
RELEASE: 23.05

REVISION SCHEDULE		
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SHEET
CHICK-FIL-A STANDARD CONSTRUCTION DETAILS
SHEET NUMBER

C-403

- GENERAL PLANTING NOTES:**
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
 - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
 - ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
 - THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
 - ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
 - ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
 - ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
 - ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
 - ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
 - NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
 - ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
 - IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
 - ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
 - ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
 - SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
 - FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
 - CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
 - TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY / DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES, SHIFT TREES AS NECESSARY
= PROPOSED DECIDUOUS TREES

- KEY NOTES:**
- IRRIGATED SEED LAWN, TYP.
 - NON-IRRIGATED SEED LAWN, TYP.
 - RESTORE DISTURBED NON-IRRIGATED SEED LAWN, CONTRACTOR TO VERIFY LIMITS, TYP.
 - ALUMINUM EDGING BETWEEN LAWN/ROCK AND PLANT BED, TYP.
 - 25' CLEAR VISION TRIANGLE
 - EVG AND/OR DEC. SHRUBS
 - INTERIOR PARKING LOT. FIELD VERIFY LOCATION OF UTILITIES; NO TREES TO BE PLANTED WITHIN 5' OF UTILITIES
 - PERIMETER PARKING LOT TREE
 - ORNAMENTAL GRASSES
 - EXISTING TREE TO REMAIN, TYP. NOT TO BLOCK VISIBILITY OF BUILDING AND SIGNAGE. PRUNE AS NEEDED. REMOVE ALL DEAD BRANCHES AND PLANT MATERIAL.
 - TREE PROTECTION FENCING AROUND EX. TREE TO REMAIN, TYP.
 - RIVER ROCK EDGE OVER WEED FABRIC, SEE DETAIL SHEET L-101; TO BE INSTALLED PER CLIENT STDS.; ADJ. TO BLDG. AND WITHIN INTERIOR DRIVE THRU LANE
 - 3" DEPTH SHREDDED HARDWOOD MULCH WITH PRE-EMERGENT, PER CLIENT STDS.; SHREDDED HARDWOOD MULCH TO BE INSTALLED IN BEDS OUTSIDE THE INTERIOR DRIVE THRU LANE
 - SIGN, REFER TO CIVIL DRAWINGS
 - POTENTIAL SITE OF CHICK-FIL-A BLDG SIGN; VERIFY FINAL LOCATION OF BUILDING SIGN; NO PLANTINGS TO BLOCK FINAL LOCATION, SHIFT SHRUBS AND TREES AS NECESSARY
 - TRANSFORMER, DO NOT BLOCK ACCESS DOORS, IF PRESENT. SHIFT PLANTS AS NECESSARY FOR ACCESS. SEE L-101 FOR TRANSFORMER DETAIL
 - ADJUST BUFFER TREES AS NECESSARY TO ACCOMMODATE EXISTING SHRUBS.
 - EXISTING SHRUBS TO REMAIN, TYP. NOT TO BLOCK VISIBILITY OF BUILDING AND SIGNAGE. PRUNE AS NEEDED. REMOVE ALL DEAD BRANCHES AND PLANT MATERIAL.
 - TREES TO NOT CONFLICT WITH OVERHEAD CANOPIES AT DRIVE THRU AND BLDG. COLUMNAR TYPE TREE PROPOSED OR SHIFT TREE AS NECESSARY.
 - POTENTIAL SNOW STORAGE AREA
 - LANDSCAPE AREA
 - PLANTINGS PER CLIENT STANDARDS, NOT SITE PLAN REQUIRED
 - OUTDOOR PATIO
 - BIKE RACK
 - NO TREES TO BE PLANTED IN ROW
 - PERIMETER PARKING LOT SHRUB

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
LSS2.5	5	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / SLENDER SILHOUETTE SWEET GUM	2.5" CAL	B&B	PER PLAN
QG2.5	3	QUERCUS ROBUR X ALBA 'JFS-KW2QX' / SKINNY GENES® OAK	2.5" CAL	B&B	PER PLAN
TA2.5	3	TILIA AMERICANA 'AMERICAN SENTRY' / AMERICAN SENTRY LINDEN	2.5" CAL	B&B	PER PLAN
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
MP2.5	3	MALUS X 'PRAIRIFIRE' / PRAIRIFIRE CRABAPPLE	2.5" CAL	B&B	PER PLAN
SR2.5	8	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	2.5" CAL	B&B	PER PLAN
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
PF24	29	POTENTILLA FRUTICOSA 'ABBOTSWOOD' / ABBOTSWOOD BUSH CINQUEFOIL	24" HT.	CONT.	36" O.C.
RG24	5	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	24" SPRD	CONT.	4' O.C. 48" O.C.
SN24	30	SPIRAEA NIPPONICA 'SNOWMOUND' / SNOWMOUND SPIREA	24" HT.	CONT.	4' O.C. 48" O.C.
TM24	29	TAXUS X MEDIA 'DENSIFORMIS' / DENSE ANGLA-JAPANESE YEW	24" HT.	CONT.	42" O.C. 42" O.C.
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
PVS2	3	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	1 GAL.	POT	30" O.C. 30" O.C.
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER TYPE	SPACING
ES	37	ECHINACEA X 'G052Y' / SUMMERSONG™ FIREFINCH™ CONEFLOWER	1 GAL.		18" O.C.

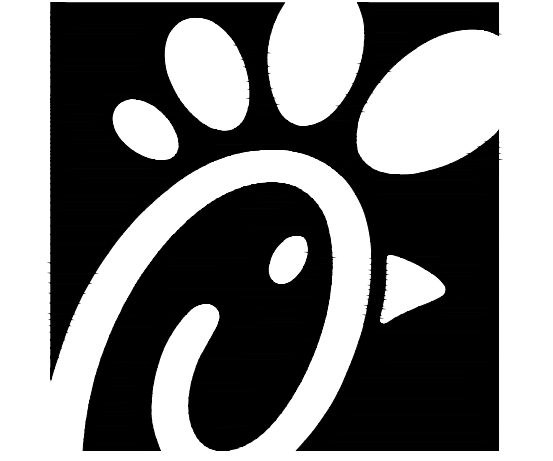
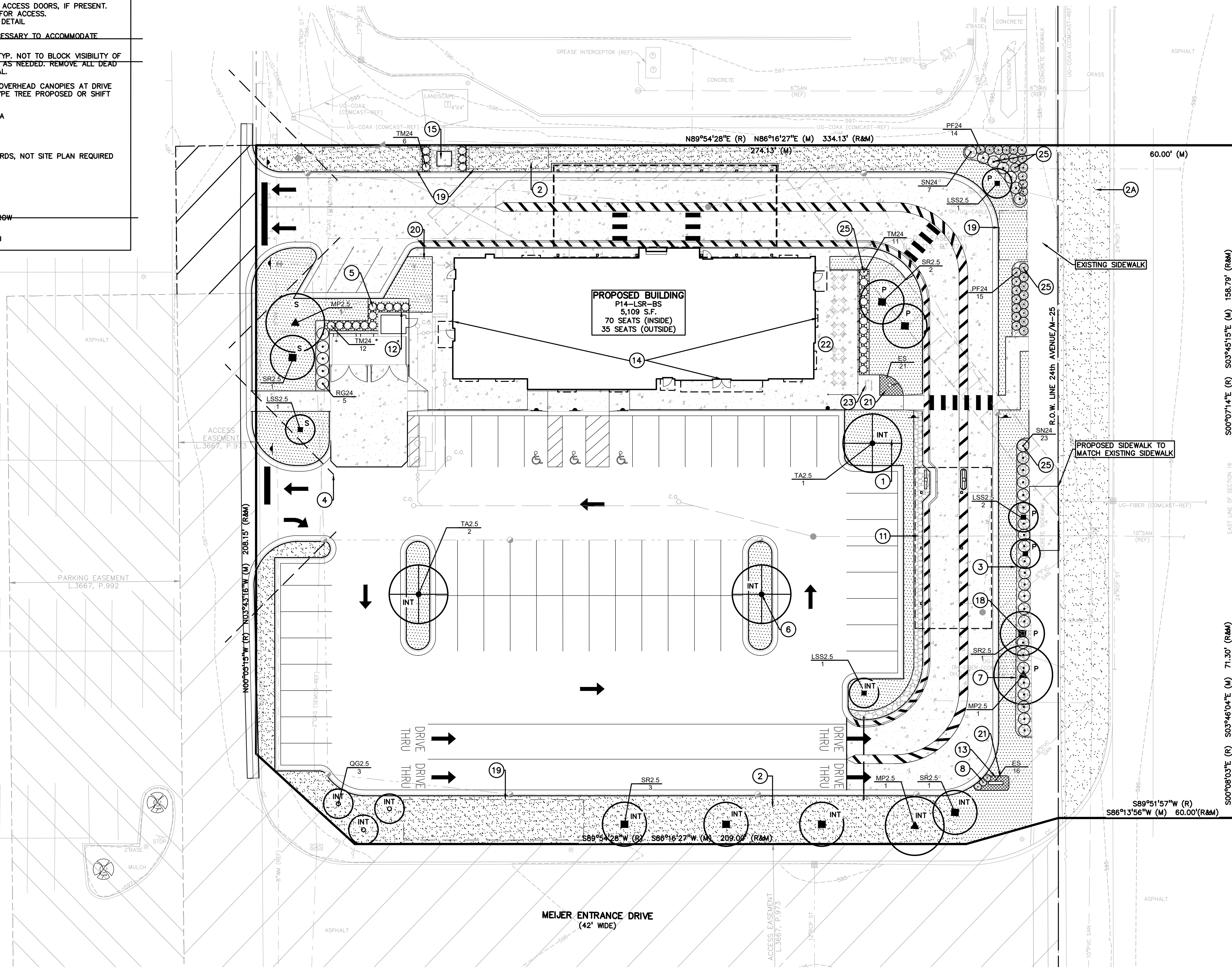
LANDSCAPE CALCULATIONS:
PER FORT GRATIOT CHARTER TOWNSHIP ZONING ORDINANCE

GENERAL LANDSCAPE
REQUIRED: NOT LESS THAN 10% OF SITE, EXCLUDING THROUGHFARE ROW, SHALL BE LANDSCAPED.
1 DEC OR EVG TREE/3000 SF OF REQUIRED LANDSCAPE AREA
81,938 SF * 0.1/3000 = 8,194 SF LANDSCAPE AREA AND 3 TREES
PROVIDED: 15,711 SF LANDSCAPE AREA AND 3 SITE TREES

INTERIOR PARKING LOT LANDSCAPING
REQUIRED: 1 DEC TREE/3000 SF PAVED DRIVEWAY AND PARKING LOT SURFACE
35,052 SF/3000 = 12 DEC TREES
PROVIDED: 12 DEC TREES

PERIMETER PARKING LOT LANDSCAPE
REQUIRED: 15' WIDE BUFFER STRIP, 1 DEC TREE AND 10 SHRUBS PER 35 LF OF FRONTAGE
230 LF/35 * 10 = 7 TREES AND 70 SHRUBS
PROVIDED: 7 DEC TREES AND 70 SHRUBS

- KEY:**
- PROPOSED DECIDUOUS TREES
 - LETTER DESIGNATION FOR ORDINANCE REQUIRED MATERIAL
 - S = GENERAL SITE TREES
 - INT = INTERIOR PARKING LOT LANDSCAPE
 - P = PERIMETER PARKING LOT LANDSCAPE
 - SHRUBS
 - ORNAMENTAL GRASSES
 - PERENNIALS
 - IRRIGATED SEED LAWN 5797 SF; FIELD VERIFY QTY.
 - NON-IRRIGATED SEED LAWN 9874 SF; FIELD VERIFY QTY.
 - ROCK MULCH, SEE KEY NOTE #11 AND DETAIL SHEET L-101. APPROX. 665 SF, FIELD VERIFY QTY.
 - ROCK BED WITH PLANTS, SEE KEY NOTE #11 AND DETAIL SHEET L-101. PER CLIENT STDS.; ROCK TO BE INSTALLED IN BEDS ADJ. TO BUILDING AND BEDS WITHIN INTERIOR DRIVE THRU LANE APPROX. 838 SF, FIELD VERIFY QTY.
 - SHREDDED HARDWOOD MULCH SEE KEY NOTE #12 PER CLIENT STDS; OUTSIDE DRIVE-THRU LANE: 422 SF AND TREE CIRCLES
 - ALUMINUM EDGING: APPROX. 469 LF, FIELD VERIFY QTY.



Chick-fil-A

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PEA GROUP
t: 844.813.2949
www.peagroup.com



0 10 20 40
SCALE: 1" = 20'

NORTH
NOT FOR CONSTRUCTION

CHICK-FIL-A
FORT GRATIOT
4783 24TH AVENUE
FORT GRATIOT TWP., MICHIGAN, 48059

FSU# 05694
BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
RELEASE: 23.05

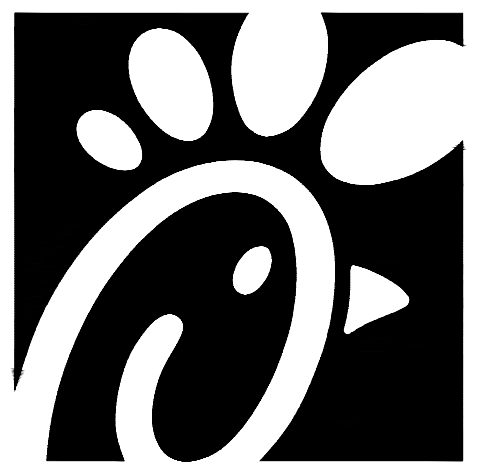
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NO.	DATE	DESCRIPTION

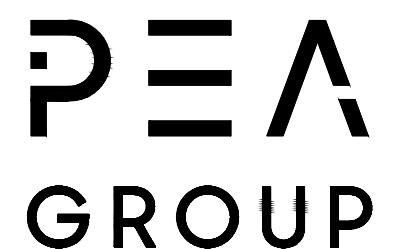
CONSULTANT PROJECT # 23-0886
PRINTED FOR PCR
DATE NOVEMBER 2, 2023
DRAWN BY AEH

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SHEET PRELIMINARY LANDSCAPE PLAN
SHEET NUMBER

L-100



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FORT GRATIOT
 4783 24TH AVENUE
 FORT GRATIOT TWP.,
 MICHIGAN, 48059

FSU# 05694

BUILDING TYPE / SIZE: P14 LSR BS / 5,109 SF
 RELEASE: 23.05

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

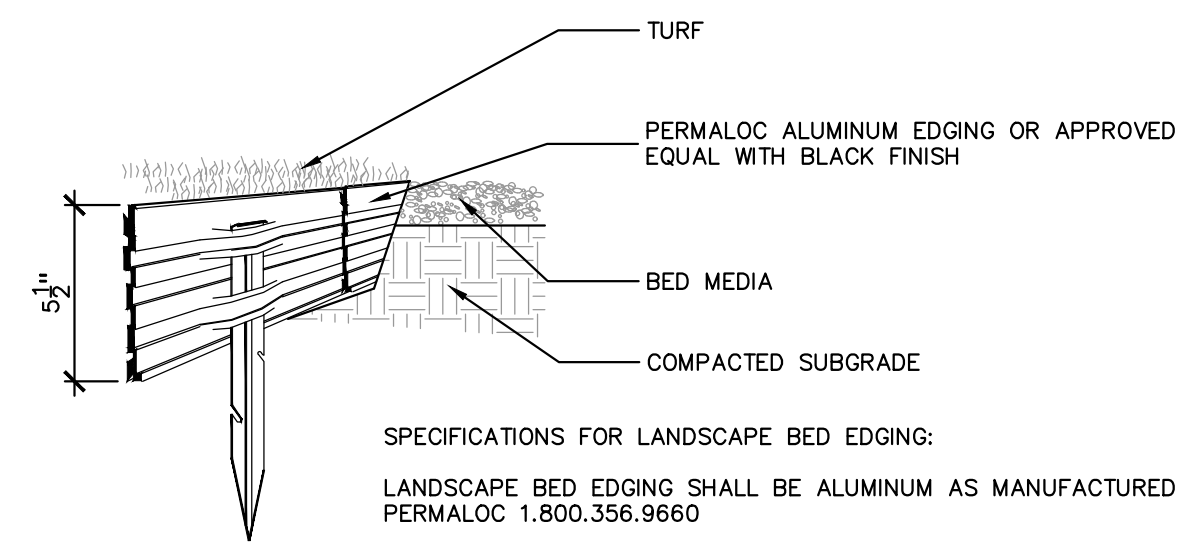
CONSULTANT PROJECT #	23-0886
PRINTED FOR	PCR
DATE	NOVEMBER 2, 2023
DRAWN BY	AEH

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SHEET
 LANDSCAPE DETAILS

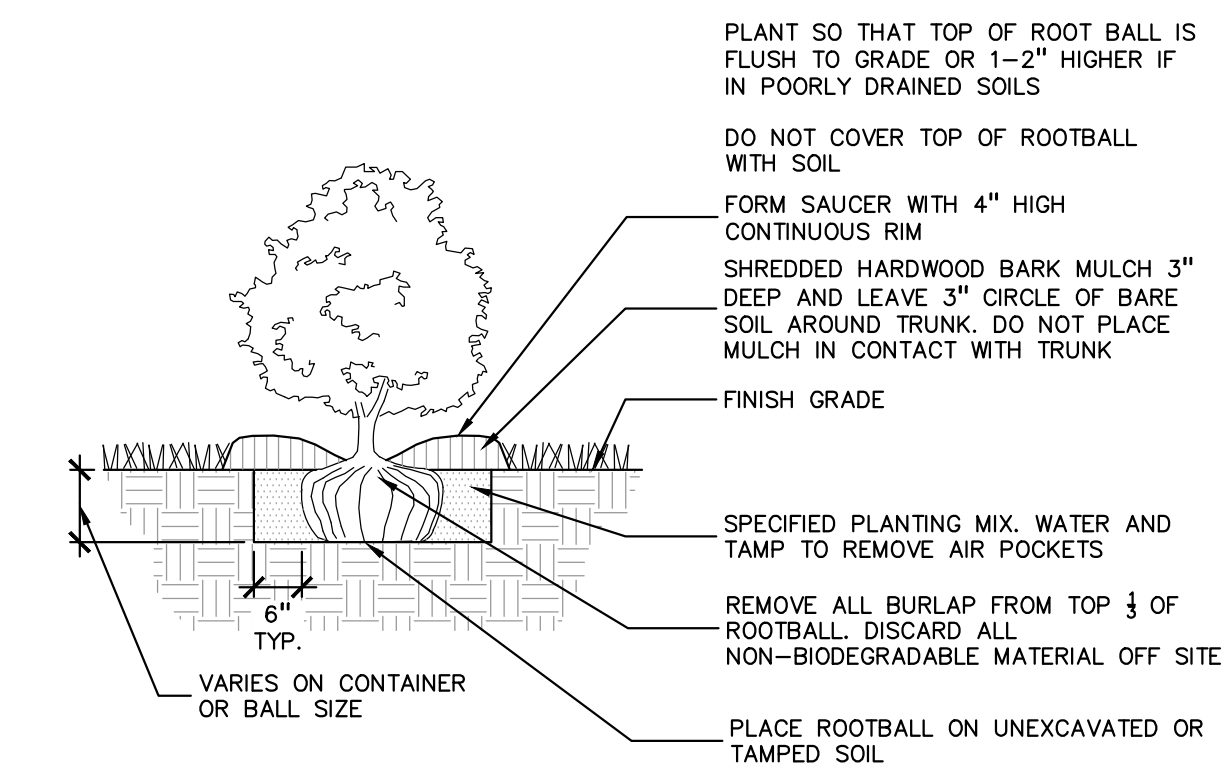
SHEET NUMBER

L-101



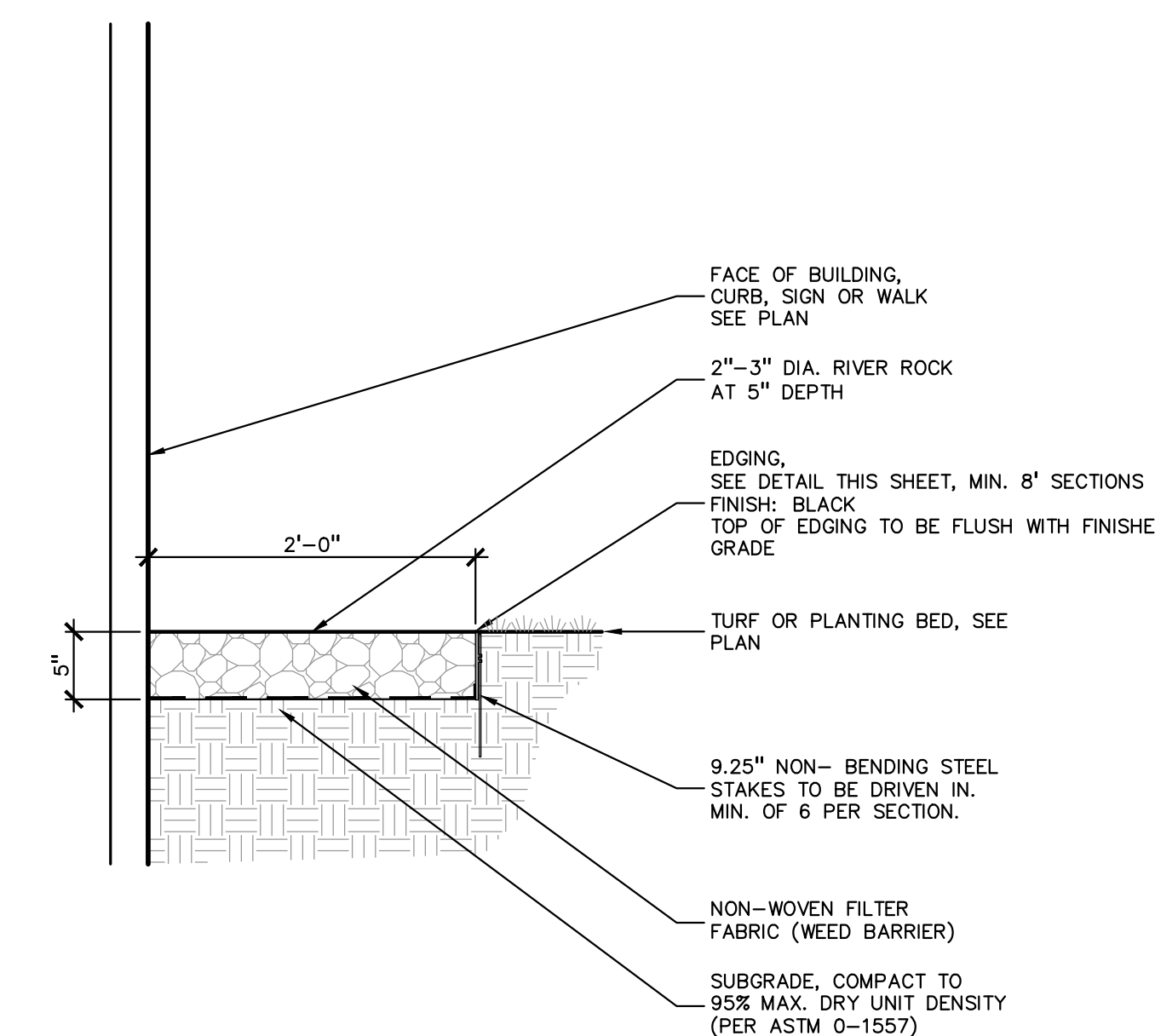
SPECIFICATIONS FOR LANDSCAPE BED EDGING:
 LANDSCAPE BED EDGING SHALL BE ALUMINUM AS MANUFACTURED BY PERMALOC 1.800.356.9660
 8' OR 16' SECTIONS SHALL BE USED WITH ONE STAKE PER 38" OF EDGING
 EDGING SHALL BE 3/8" THICK X 4" DEPTH WHEN ADJ. TO MULCH AND 3/4" THICK X 5 1/2" DEPTH WHEN ADJ. TO ROCK, FINISH: BLACK DURAFLEX MEETING AAMA 2603
 STAKE SHALL SECURELY ENGAGE EDGING AND SHALL BE ENTIRELY BELOW TOP SURFACE OF EDGING
 EDGING SHALL HAVE A MINIMUM OF 2" OF INTERLOCKING OVERLAP BETWEEN SECTIONS
 INSTALL AS PER MANUFACTURER'S SPECIFICATIONS WITH TOP OF EDGING 1/4"-1" ABOVE COMPACTED FINISH GRADE. FINISH GRADE TO BE COMPACTED ON BOTH SIDES OF EDGING TO MAINTAIN STABILITY

6 ALUMINUM EDGE DETAIL
 SCALE: 1/2" = 1'-0"

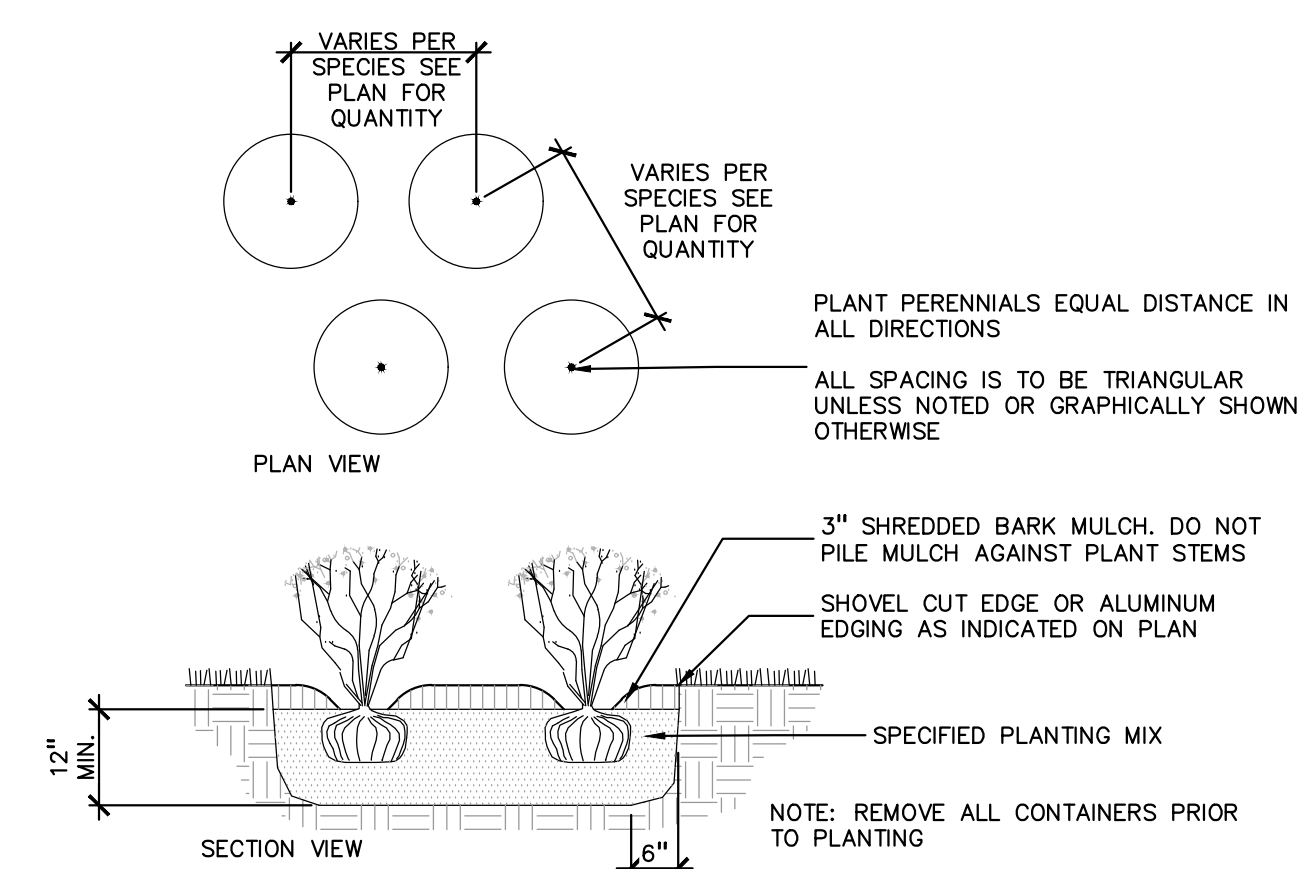


PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS
 DO NOT COVER TOP OF ROOTBALL WITH SOIL
 FORM SAUCER WITH 4" HIGH CONTINUOUS RIM
 SHREDDED HARDWOOD BARK MULCH 3" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TRUNK
 FINISH GRADE
 SPECIFIED PLANTING MIX. WATER AND TAMP TO REMOVE AIR POCKETS
 REMOVE ALL BURLAP FROM TOP 1/3 OF ROOTBALL. DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE
 PLACE ROOTBALL ON UNEXCAVATED OR TAMPED SOIL
 VARIES ON CONTAINER OR BALL SIZE

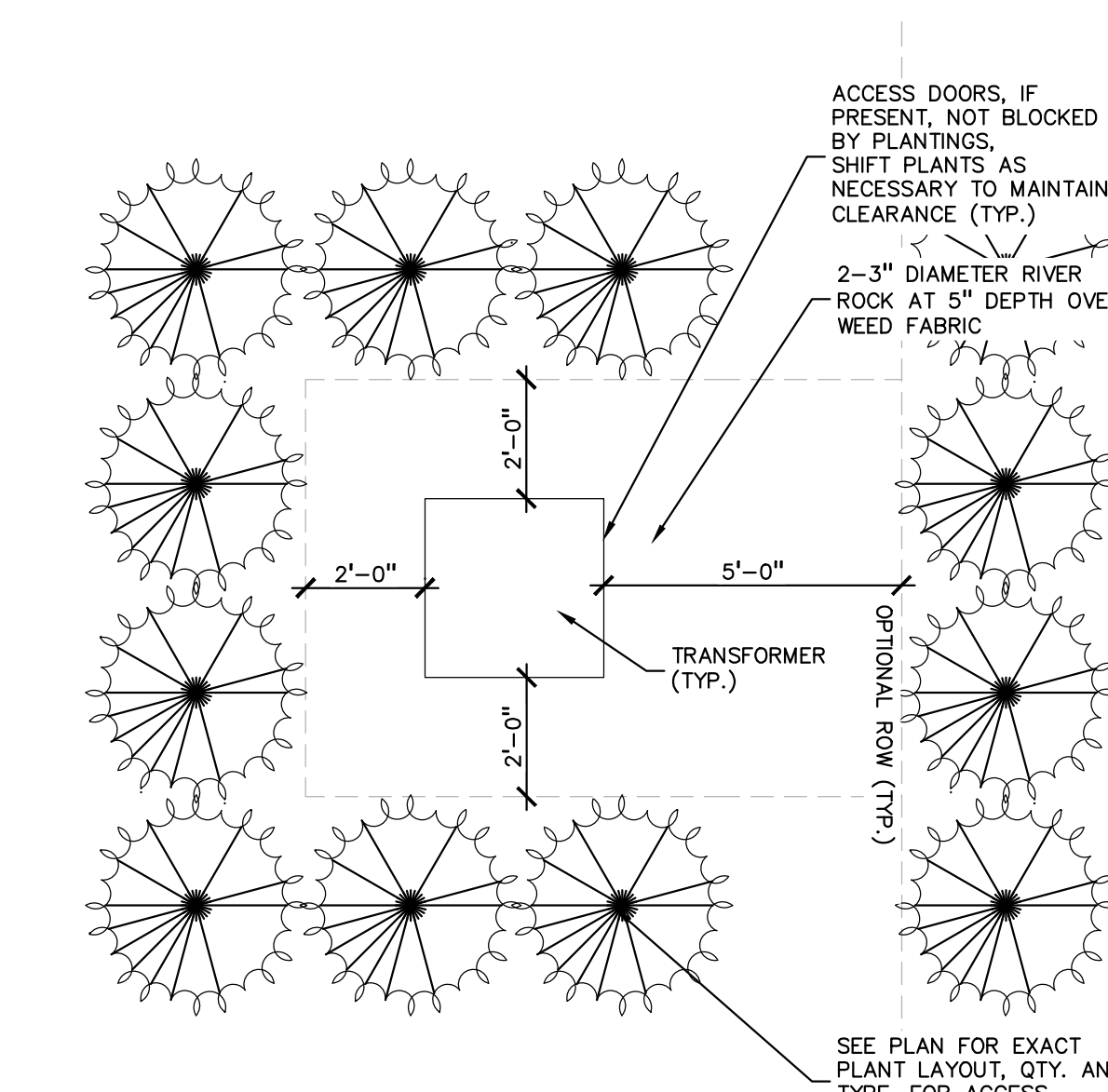
3 SHRUB PLANTING DETAIL
 SCALE: 1" = 2'-0"



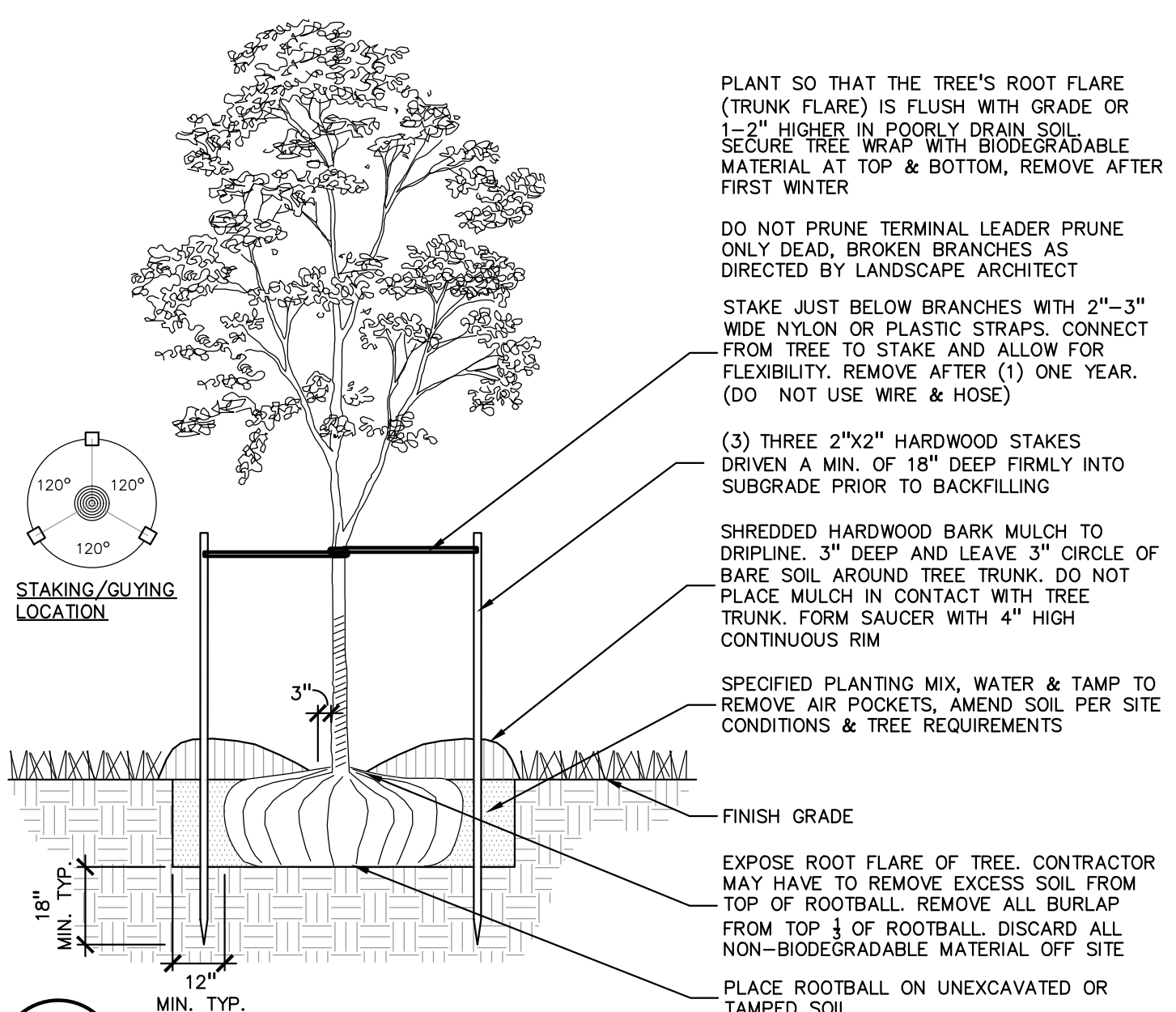
5 STONE MAINTENANCE STRIP
 SCALE: 1" = 1'-0"



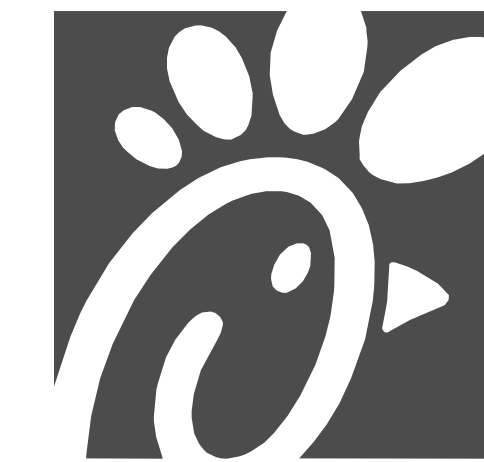
2 PERENNIAL PLANTING DETAIL
 SCALE: 1" = 2'-0"



4 TRANSFORMER SCREENING DETAIL
 SCALE: 1" = 3'-0"



1 DECIDUOUS TREE PLANTING DETAIL
 SCALE: 1" = 3'-0"



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SITE
 ADAPT
 LOGO
 AND
 ADDRESS

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 REGULATORY
 APPROVAL,
 BIDDING, OR
 CONSTRUCTION

CHICK-FIL-A
 Project Name
 Street Address
 City, ST 00000

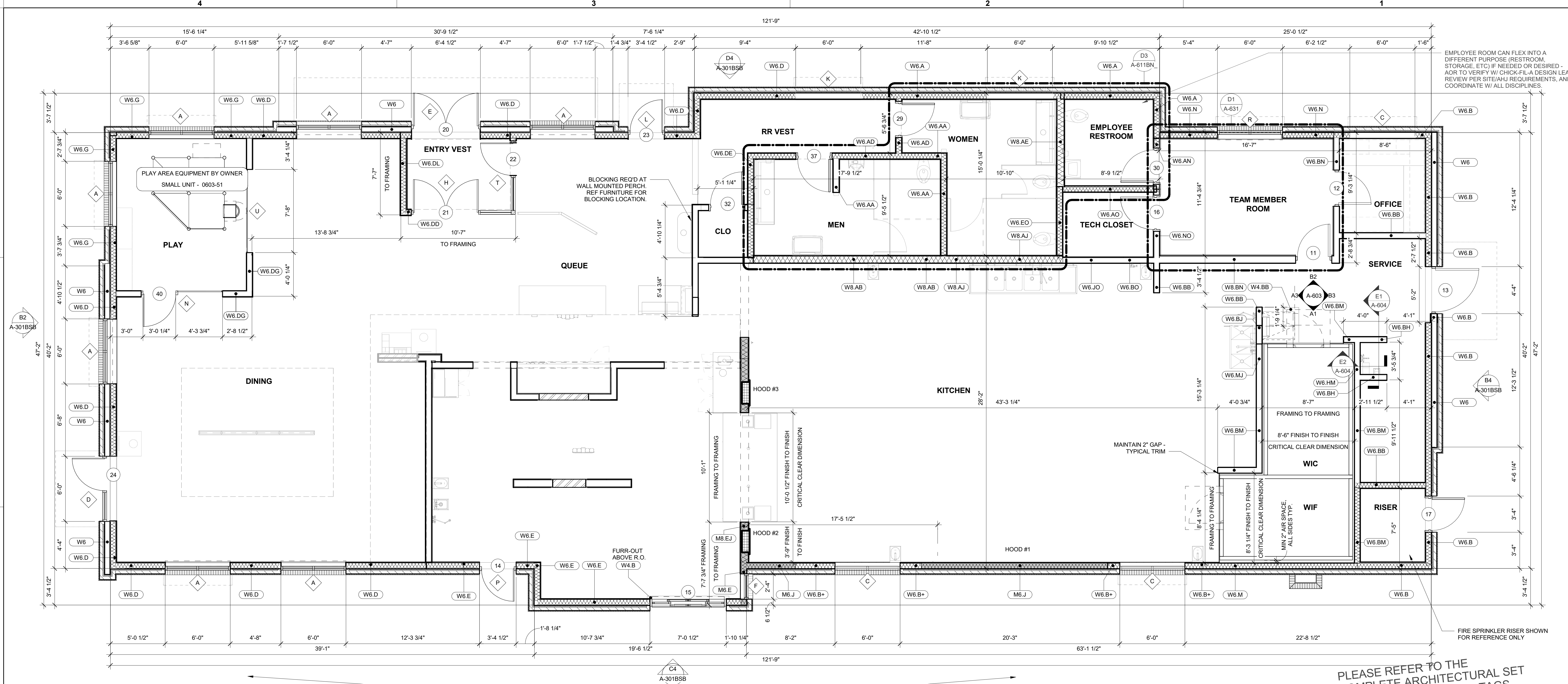
FSR#0000
 BUILDING TYPE / SIZE: P14 LSR BS
 RELEASE: 23.09

PROJECT STATUS
 REVISION SCHEDULE
 NO. DATE DESCRIPTION

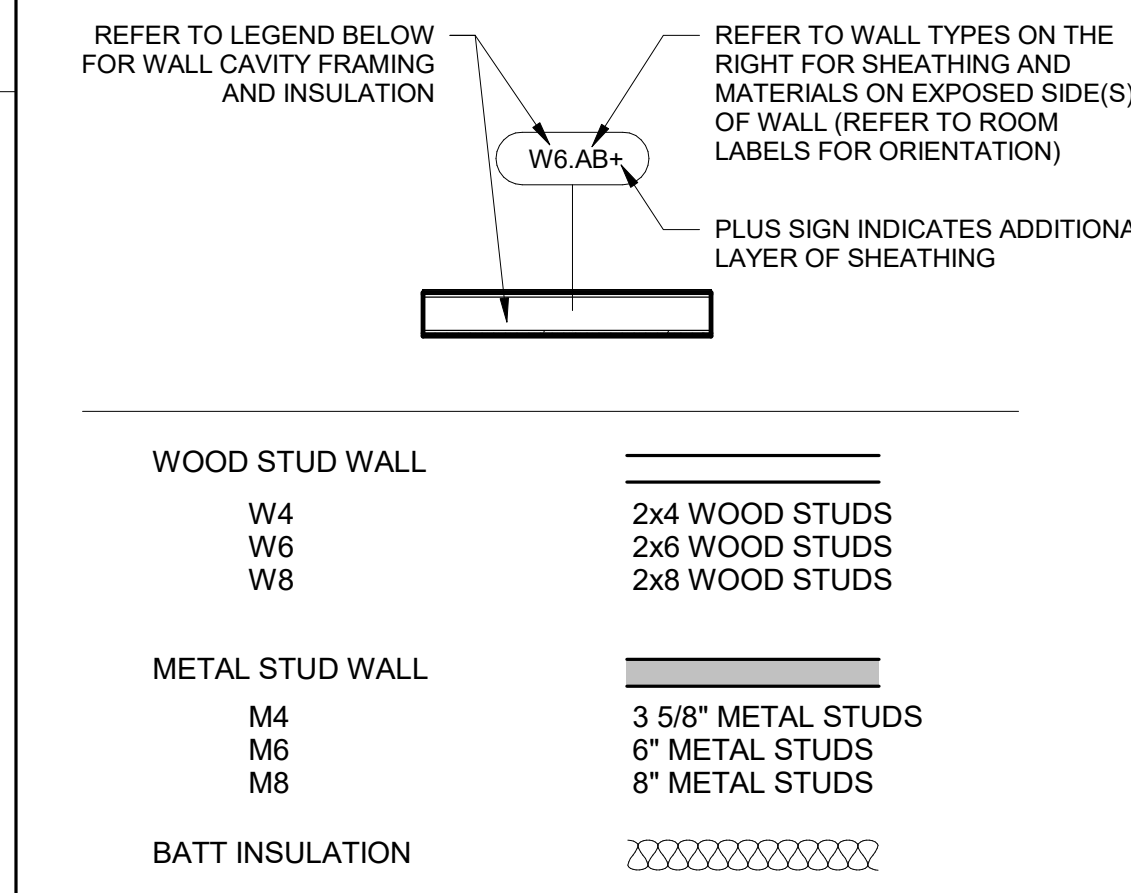
CONSULTANT PROJECT #
 DATE
 DRAWN BY
 Author
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FLOOR PLAN

SHEET NUMBER
A-201BS



C4 FLOOR PLAN
 1/4" = 1'-0"



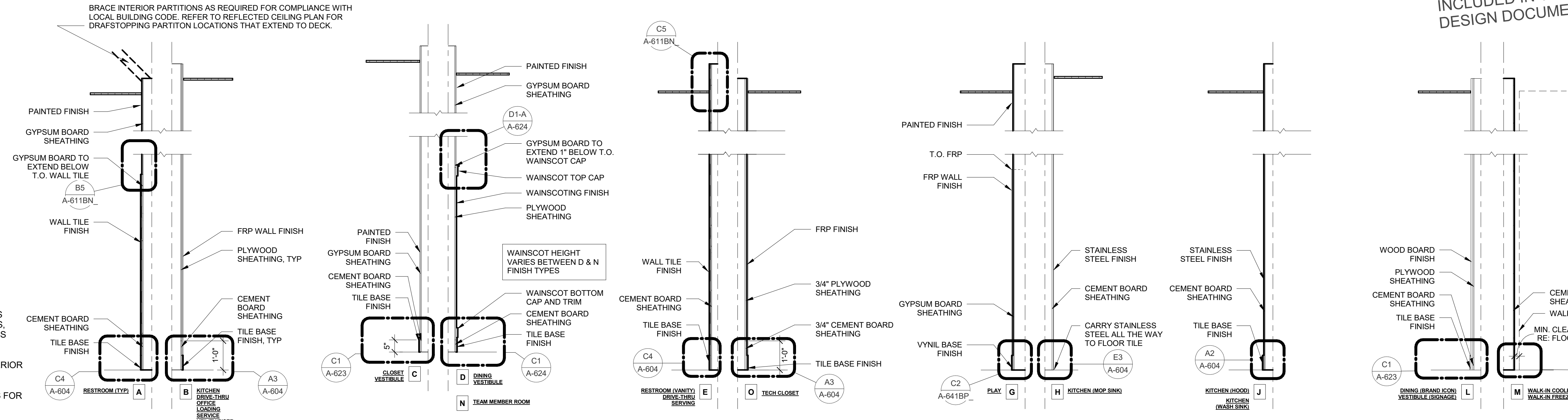
NOTE 1: WALL BLOCKING SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. BLOCKING SHALL INCLUDE, BUT IS NOT LIMITED TO: AREAS INDICATED ON INTERIOR ELEVATIONS FOR GRAB BARS, SHELVING BRACKETS, MONITORS, FIXTURES, ETC. AS WELL AS BLOCKING FOR WINDOWS, CANOPIES ROOF FRAMING, ROOF TOP UNITS, ETC.

NOTE 2: REFER TO STRUCTURAL DRAWINGS AND WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.

NOTE 3: REFER TO FINISH PLAN FOR WALL FINISH INFO AND SPECIFICATIONS FOR WALL SHEATHING INFO. DIMENSIONS SHOWN ARE FROM FLOOR FINISH, TYP.

NOTE 4: GENERAL CONTRACTOR TO PROVIDE AND/OR VERIFY FIRE BLOCKING AT 10' MAX VERTICAL SPACING AND AT CEILING HEIGHT IN ALL COMBUSTIBLE STUD WALLS, ACCORDING TO LOCAL CODE REQUIREMENTS.

WALL TYPES LEGEND
 N.T.S.



FOR PROJECTS NEEDING EXTERIOR METAL FRAMING AT ENTIRE PERIMETER, DOWNLOAD THE GENIUS LOCI PACKAGE FROM DYNAMO AND THE SWAPWALLTYPES SCRIPT FROM UNIFI FOR A QUICKER WAY TO ACCOMPLISH THIS CHANGE

UPDATE THE R-VALUE AND THICKNESS INFORMATION IN THE INSULATION SCHEDULE PER LOCATION/JURISDICTION REQUIREMENTS.

INSULATION SCHEDULE		
LOCATION	R-VALUE	THICKNESS
ROOF	R-29	5" RIGID
WALL (CONTINUOUS)	R-5	1" RIGID
WALL (CAVITY)	R-19	6" BATT
SLAB	R-10	2" RIGID

FLOOR PLAN GENERAL NOTES

A.1 ALL DIMENSIONS SHOWN ARE FRAMING DIMENSIONS (FACE OF STUD/JAMB) UNLESS OTHERWISE NOTED.

A.2 FASTENERS, ANCHORS, CLIPS, STRAPS, ETC WHICH ARE IN CONTACT WITH PRESERVATIVE AND/OR FIRE TREATED WOOD SHALL BE OF G-185 HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR AN APPROVED EQUAL.

A.3 REFER TO CIVIL AND LANDSCAPE FOR LOCATIONS OF WALKS, BOLLARDS, LANDSCAPING AREAS, FLAG POLE, AND OTHER SITE ITEMS.

A.4 REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPES OF CORNER GUARDS.

A.5 CONTRACTOR TO COORDINATE LOCATION OF POLE MOUNTED EXTERIOR CAMERA WITH STRONG SYSTEMS AND INSTALL UNDERGROUND CONDUIT AS REQUIRED. RE: ELECTRICAL.

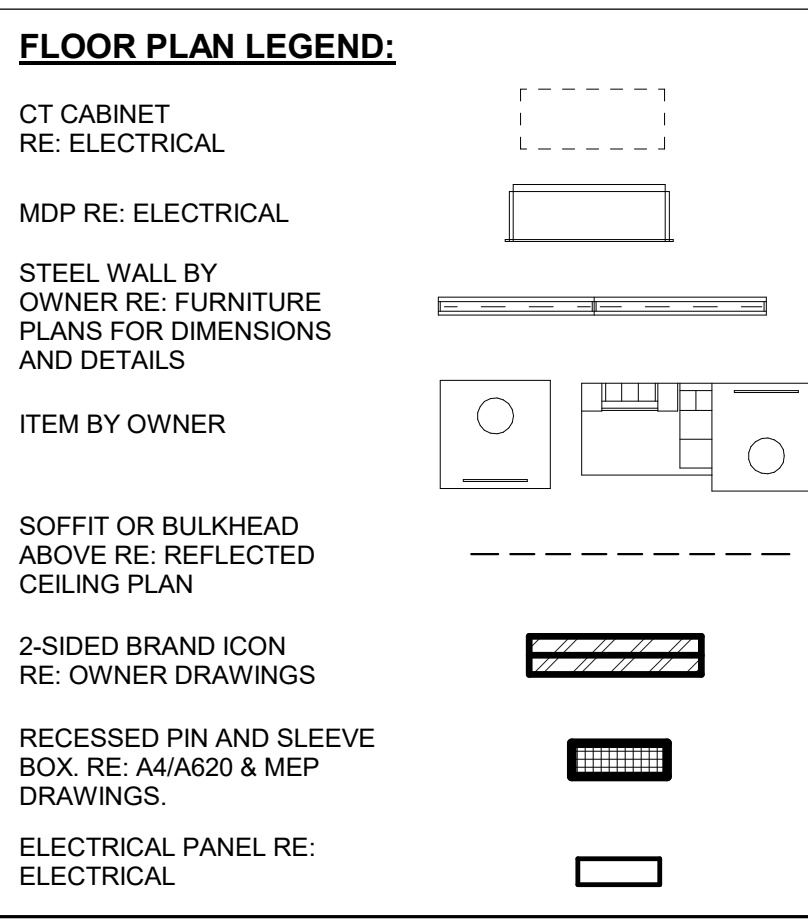
A.6 REFER TO ACCESSIBILITY PLAN AND FURNITURE DRAWINGS FOR SEATING LAYOUT & SPECIFICATIONS. CONTACT: OWNER.

A.7 REFER TO ACCESSIBILITY PLAN AND OWNER DRAWINGS FOR CONDIMENT COUNTERS AND TRASH RECEPTACLES.

A.8 REFER TO IT WALLBOARD USER GUIDE FOR WALLBOARD INSTALLATION, IF APPLICABLE.

A.9 REFER TO MILLWORK PLAN FOR RAISED CONCRETE CURB LOCATIONS.

A.10 FREEZER AND COOLER DOORS AND HARDWARE SUPPLIED BY FREEZER/COOLER MANUFACTURER.



9/15/2023 6:25:49 PM C:\Users\dylan.syvester\Documents\2022 Revit Projects\00000_NewStore_LSR_ARC_BSB_HFA_Dylan.Syvester.rvt 10-LSR-00000-A-201BS_-FLOOR PLAN



EXTERIOR FINISHES

(BR-A) BRICK VENEER COLOR: DARK BROWN SIZE: MODULAR	(EC-1) PREFINISHED METAL COPING COLOR: MIDNIGHT BRONZE
(BR-B) BRICK VENEER COLOR: LIGHT BROWN SIZE: MODULAR	(PT-11) EXTERIOR PAINT COLOR: DARK BRONZE FINISH: SEMI-GLOSS
(SC-1) STUCCO SYSTEM COLOR: WHITE FINISH: SAND MEDIUM	(ST-1) STOREFRONT COLOR: DARK BRONZE
(SC-2) STUCCO SYSTEM COLOR: BROWN FINISH: SAND MEDIUM	



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW

ATTACHED CANOPY SCHEDULE

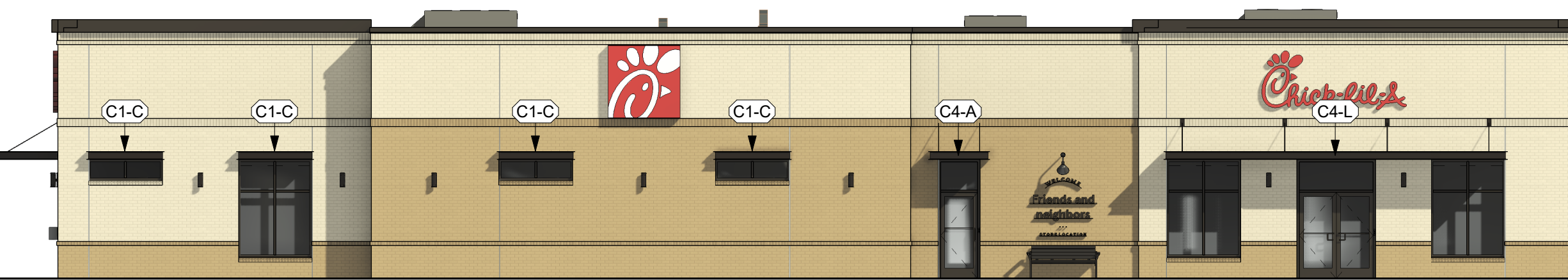
Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	8	6'-4"	1'-0"	0"	No
C3-A	Exterior Canopy	1	9'-0"	5'-0"	2'-6"	Yes
C4-A	Exterior Canopy	1	9'-0"	4'-0"	2'-4"	Yes
C4-G	Exterior Canopy	1	7'-0"	4'-0"	2'-4"	Yes
C4-L	Exterior Canopy	1	28'-0"	4'-0"	2'-4"	Yes
Grand total		12				



PERSPECTIVE VIEW

REF. ENCLOSURE FINISHES

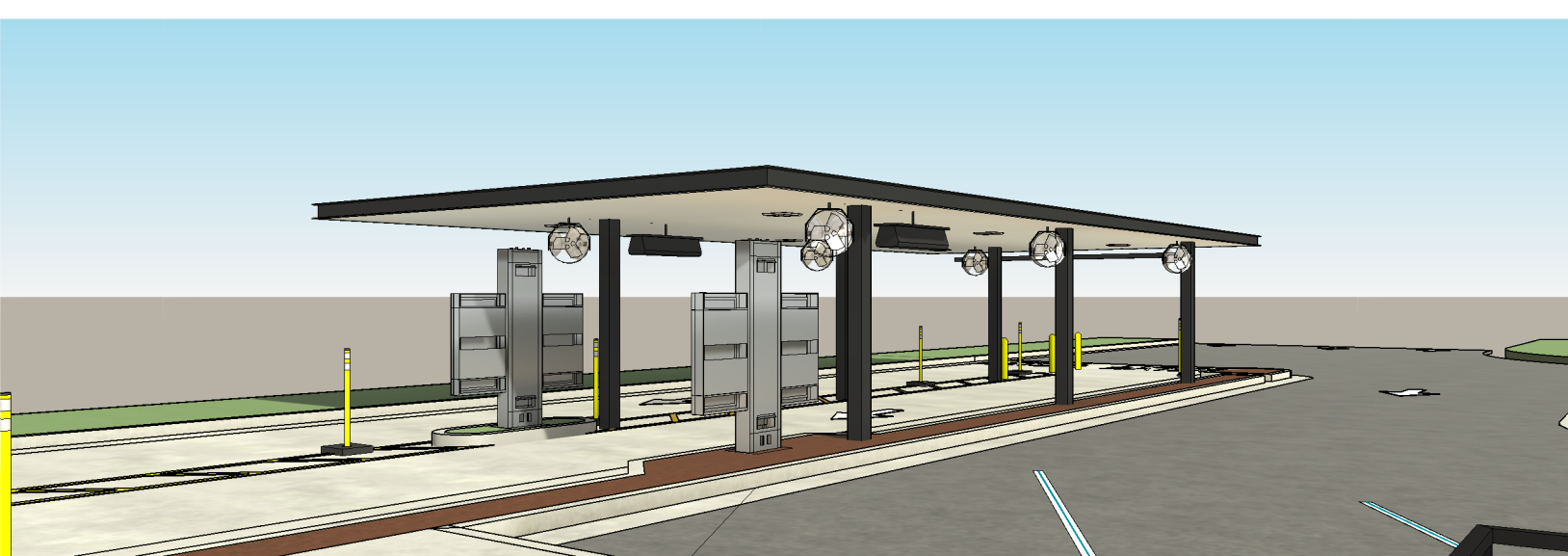
(EC-1) PREFINISHED METAL COPING COLOR: MIDNIGHT BRONZE
(BR-A) BRICK VENEER COLOR: DARK BROWN SIZE: MODULAR



EXTERIOR ELEVATION



EXTERIOR ELEVATION



PERSPECTIVE VIEW

OP CANOPY FINISHES

(CP-1) PREFINISHED METAL COLOR: DARK BRONZE
(CP-2) METAL DECKING COLOR: WHITE



EXTERIOR ELEVATION



EXTERIOR ELEVATION



PERSPECTIVE VIEW - PATIO

PATIO SEATING SCHEDULE

Mark	Type	Count	Manufacturer	Model	Width	Depth	Height	Material	Finish
1	Patio Chair	16	Benchmark Design Group	WENDOVER CHAIR					
2	Patio Table - 4 Top	2	Benchmark Design Group	TAB3055-3636-AAL-WJ-UH-BDT	3'-0"	3'-0"	2'-5 1/4"	Aluminum - Dark Bronze (One Coat)	RAL 49/66220 (C34 Bronze One Coat)
3	Patio Table - 4 Top - ADA	1	Benchmark Design Group	TBL3056-3644-AL-UH	3'-8"	3'-0"	2'-5 1/4"	Aluminum - Dark Bronze (One Coat)	RAL 49/66220 (C34 Bronze One Coat)
4	Patio Table - 2 Top	2	Benchmark Design Group	TAB3055-2424-AAL-WJ-BDT	2'-0"	2'-0"	2'-5 1/4"	Aluminum - Dark Bronze (One Coat)	RAL 49/66220 (C34 Bronze One Coat)
5	Patio Umbrella	3	Tuuci	OCEAN MASTER PARASOL					
6	Trash Receptacle	1	Benchmark Design Group	CFA-AL-2444	2'-0"	2'-0"	3'-11"	Dark Bronze	RAL 49/66220 (One Coat)
7	Entrance Bench - 80"	1	Benchmark Design Group	Wendover Bench - 4131	6'-8"	2'-0"	3'-0"	Aluminum - Dark Bronze	#34 Fine Textured Bronze 449/96511
8	Bike Rack - Surface Mount	2	Belson Outdoors	ORN-2-SF-P	3'-4"	2 3/8"	2'-9"	Steel	Black Powder Coated



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

SITE
ADAPT
LOGO
AND
ADDRESS

PROTOTYPICAL SET

NOT FOR
REGULATORY
APPROVAL,
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CONSTRUCTION

CHICK-FIL-A
Project Name
Street Address
City, ST 00000

FSR#00000

BUILDING TYPE / SIZE: P14 LSR BNB

RELEASE: 23.09

PROJECT STATUS

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # ###

DATE MM/DD/YY

DRAWN BY Author

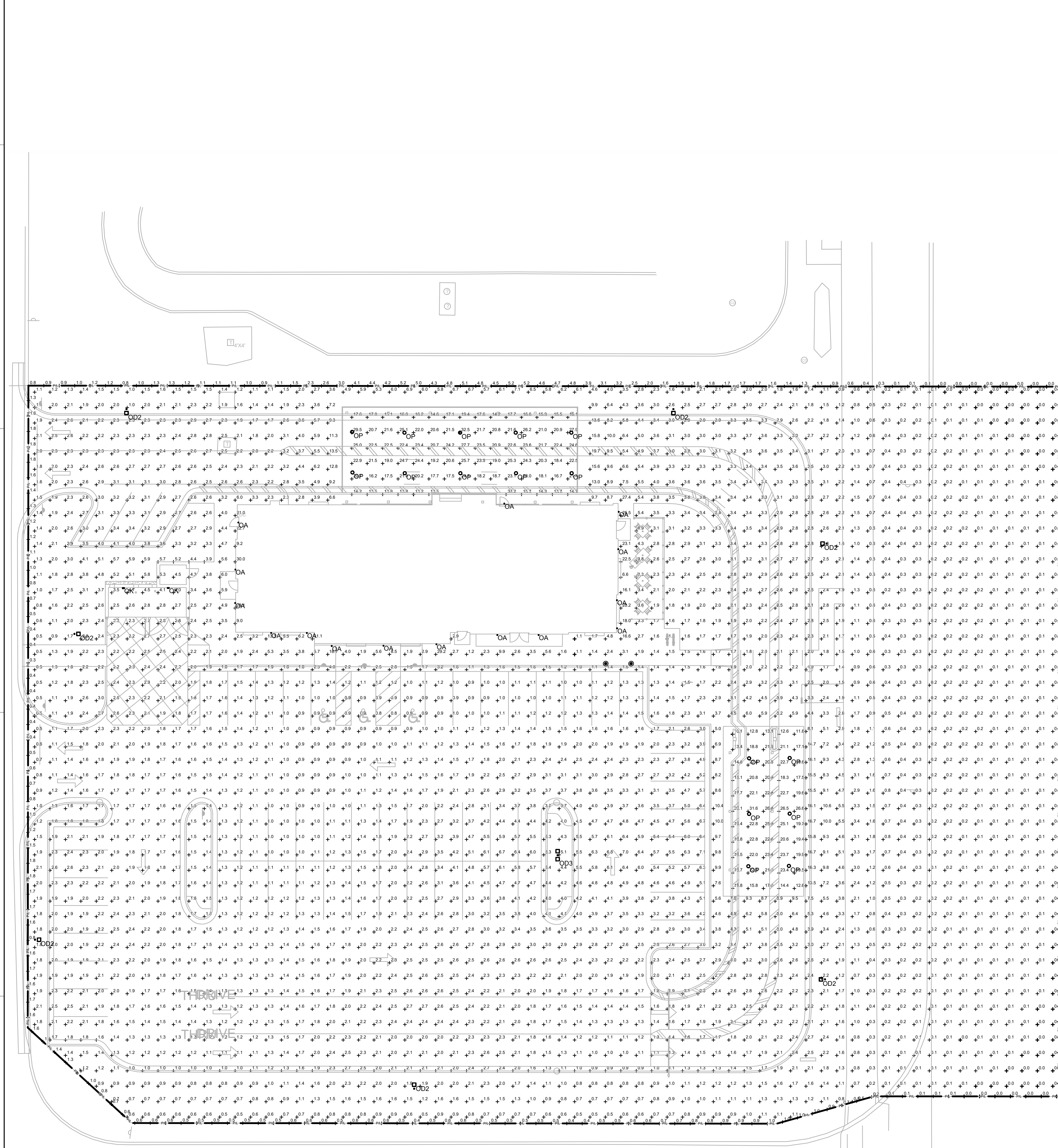
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DESIGN OVERVIEW

SHEET NUMBER

X-900BNB

E
D
C
B
A



A4 SITE PHOTOMETRIC PLAN
SCALE 3/4" = 1'-0"

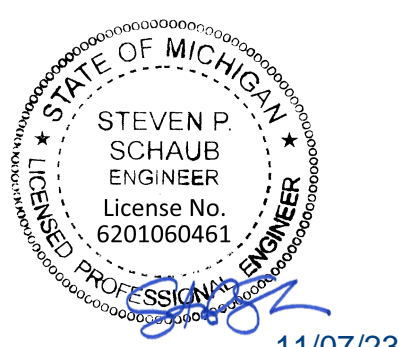
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
CF_A HARDSCAPE	+	2.4 fc	19.7 fc	0.5 fc	39.4:1	4.8:1
PEDESTRIAN WALKWAYS	+	6.2 fc	30.0 fc	1.1 fc	27.3:1	5.6:1
PROPERTY LINE	+	1.0 fc	5.2 fc	0.0 fc	N/A	N/A

PHOTOMETRIC NOTES	
1.	ALL FIXTURES UTILIZED IN THIS SITE PHOTOMETRIC ARE FULL CUTOFF.
2.	MOUNT AREA LUMINAIRE TYPE '003' AT 25' AFG (INCLUDING POLE BASE) UNLESS OTHERWISE NOTED.
3.	SEE FIXTURE SCHEDULE FOR COLOR TEMPERATURES.

LIGHTING FIXTURE SCHEDULE									
SYMBOL	LABEL	QTY	CATALOG NUMBER	MANUFACTURER	DESCRIPTION	LAMP	WATTS	VOLTS	MOUNTING
⬢	OA	15	P5675-31 WITH P8790 TOP COVER LENS	PROGRESS LIGHTING	5" DIAMETER, 14" HEIGHT, WET LOCATION, UPDOWN CYLINDER W/ 12 WATT PAR30 3K NFL LED LAMPS	(2)GE-LED12P30RW83025	24	120	WALL
□	OD3	1	LUMINAIRE: PRV-C40-D-UNV-T3-8K-MSIDIM-L40W (TYPE 3 DISTRIBUTION) POLE: SSP25-4-0-7-BLK-DM180-BC (TWO LUMINAIRES AT 180 DEGREES) ANCHOR BOLT SET: ABSS5-5	COOPERLUMARK KW INDUSTRIES	TWIN AREA LIGHT FIXTURE WITH TYPE 3 MEDIUM DISTRIBUTION, FIXTURES, BRACKETS, AND POLES TO HAVE BLACK FINISH. DRILL MOUNT THE ARMS/BRACKETS TO THE POLES. PROVIDE SINGLE POLE FUSE HOLDER AND 3A FUSES IN HAND HOLE OF POLE.	INTEGRAL LED	262	120	POLE - 25'
□	OD2	7	LUMINAIRE: PRV-C40-D-UNV-T4-8K-HSS-MSIDIM-L40W (TYPE 4 DISTRIBUTION WITH HSS) POLE: SSP25-4-0-7-BLK-DM10-BC (SINGLE LUMINAIRE) ANCHOR BOLT SET: ABSS5-5	COOPERLUMARK KW INDUSTRIES	SINGLE AREA LIGHT FIXTURE WITH TYPE 4 FORWARD-THROW DISTRIBUTION AND HOUSE SIDE SHIELD. FIXTURES, BRACKETS, AND POLES TO HAVE BLACK FINISH. DRILL MOUNT THE ARMS/BRACKETS TO THE POLES. PROVIDE SINGLE POLE FUSE HOLDER AND 3A FUSES IN HAND HOLE OF POLE.	INTEGRAL LED	131	120	POLE - 25'
■	OK	2	LNC-6LUJ-K-3-1	HUBBELL	LED WALLPACK W/ CENTERLINE OF FIXTURE AT 8'-0" ABV 0'-0" (FINISH FLOOR LINE)	INTEGRAL LED	13	120	WALL
○	OP	16	C-CPA-SQ-79L-50K-WH	C-LITE	CEILING LIGHT FIXTURE PROVIDED BY THE CANOPY SUPPLIER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.	INTEGRAL LED	88	120	CANOPY - 9.5'



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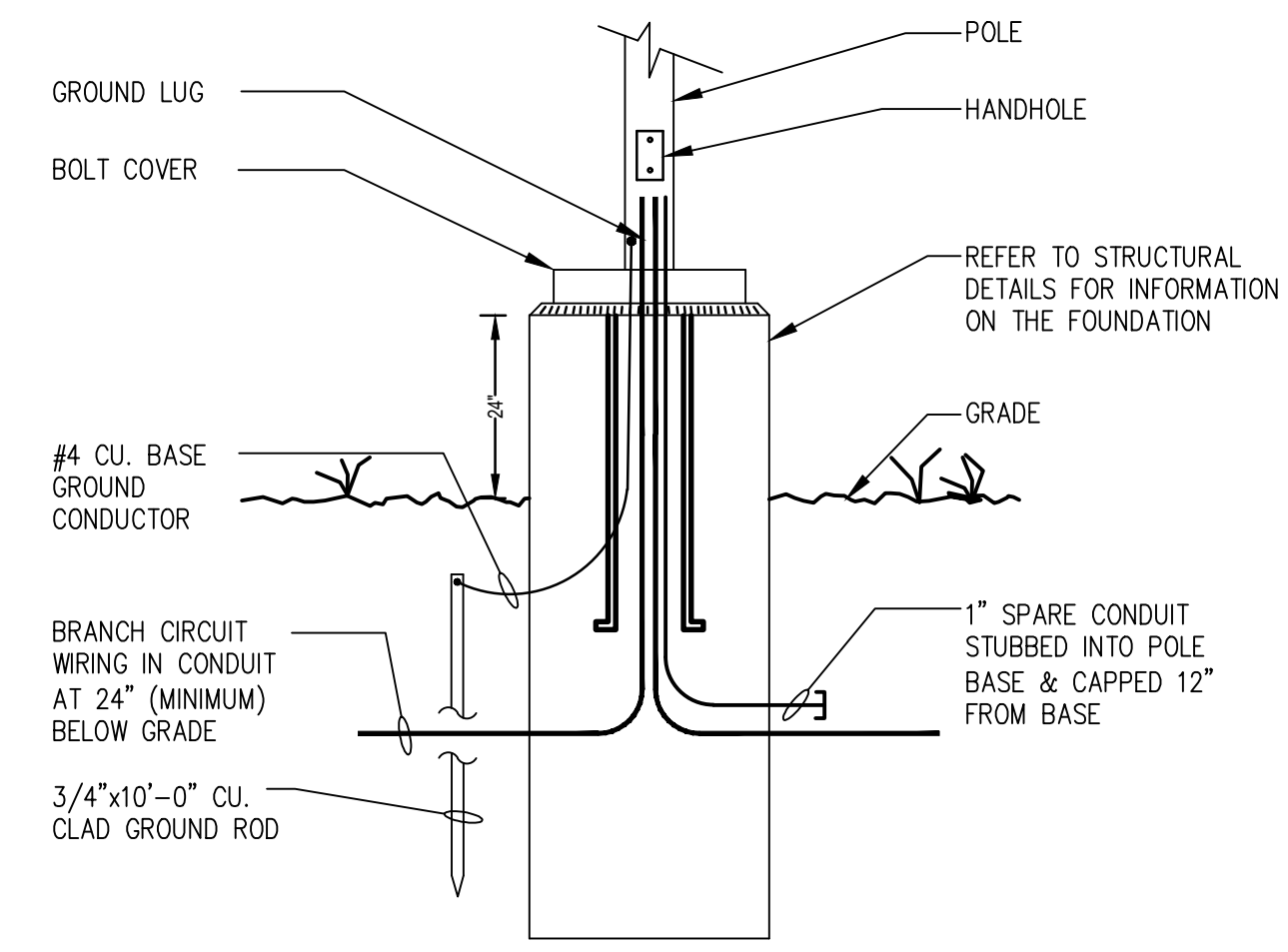


11/07/23

CHICK-FIL-A
FORT GRATIOT
4783 24TH AVENUE
FORT GRATIOT TWP, MI 48509

FSR#05694
BUILDING TYPE / SIZE: P14 LE XP
RELEASE: 21.08
PRINTED FOR: ISSUED FOR PERMIT

REVISION SCHEDULE	NO.	DATE	DESCRIPTION



A2 TYPICAL POLE BASE DETAIL
N.T.S.

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CONSULTANT PROJECT # 2023223.81
DATE 11/06/23
DRAWN BY JW
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SHEET ELECTRICAL PHOTOMETRIC PLAN
SHEET NUMBER E-102